



## **S23/2175**

Proposal:	Hybrid planning application for the erection of 175 dwellings with associated access, infrastructure, open space and landscaping (full application) and community facility (outline)
Location:	Land at Low Road, Barrowby
Applicant:	Allison Homes
Application Type:	Hybrid Planning Application – part Full Planning Permission and part Outline Planning Permission (All matters reserved)
Reason for Referral to Committee:	Major development which requires a Section 106 Agreement to secure financial contributions.
Key Issues:	<ul style="list-style-type: none"><li>• Principle of Development</li><li>• Meeting All Housing Needs</li><li>• Design Quality</li><li>• Infrastructure for Growth</li></ul>
Technical Documents:	<ul style="list-style-type: none"><li>• Design and Access Statement</li><li>• Planning Statement</li><li>• Arboricultural Report and Impact Assessment</li><li>• Affordable Housing Statement</li><li>• Archaeological Desk Based Assessment</li><li>• Ecological Impact Assessment</li><li>• Landscape Visual Impact Assessment</li><li>• Flood Risk Assessment and Drainage Strategy</li><li>• Air Quality Assessment</li><li>• Transport Assessment</li><li>• Comprehensive Masterplan document</li></ul>

### **Report Author**

Adam Murray – Principal Development Management Planner



01476 406080



Adam.Murray@southkesteven.gov.uk

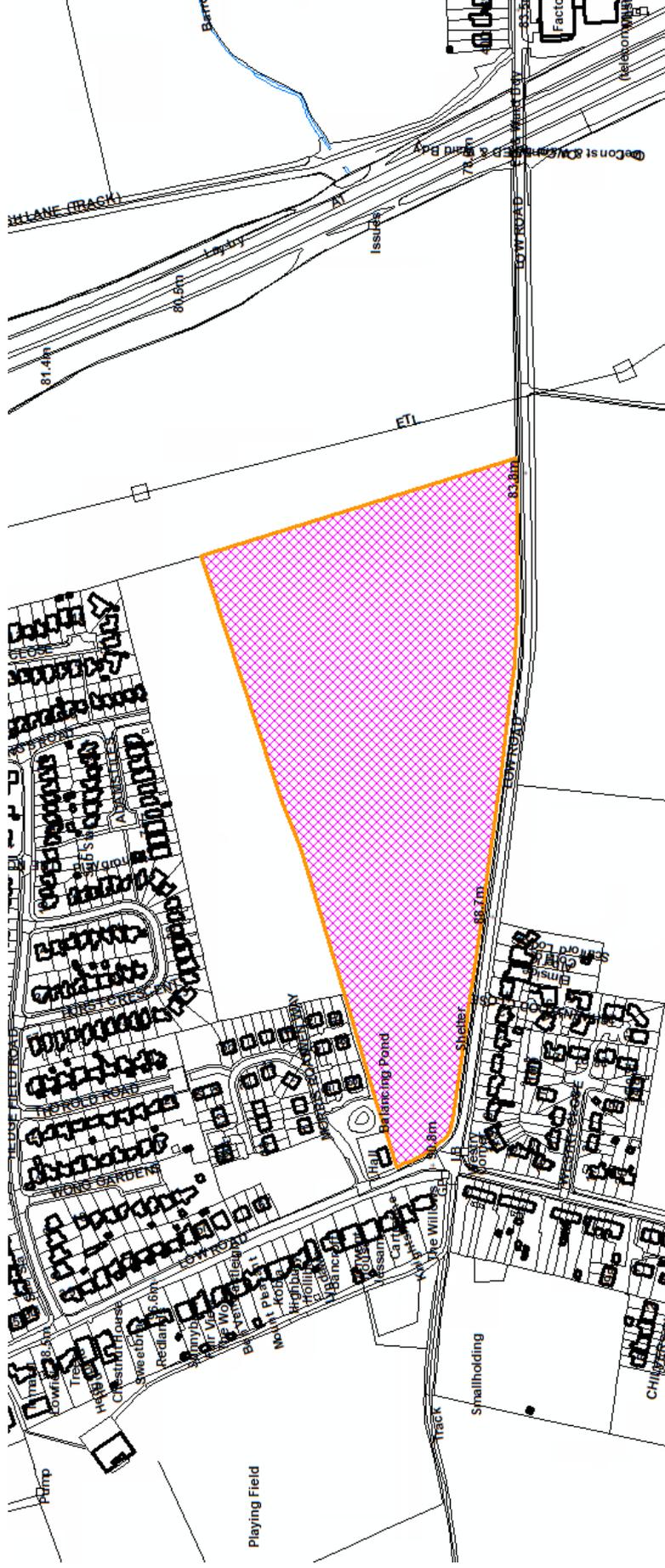
<b>Corporate Priority:</b>	<b>Decision type:</b>	<b>Wards:</b>
<b>Growth</b>	<b>Regulatory</b>	<b>Belvoir</b>

<b>Reviewed by:</b>	Phil Jordan, Development Management & Enforcement Manager	5 June 2024
---------------------	---	-------------

**Recommendation (s) to the decision maker (s)**

To authorise the Assistant Director – Planning to GRANT planning permission, subject to conditions and the completion of a Section 106 Agreement

# S23/2175 – Land at Low Road, Barrowby



Key



Application  
Boundary



Reproduced from the Ordnance Survey mapping with the permission of the Controller of Her Majesty's Stationery Office Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings. © South Kesteven District Council (2015) - Licence No. 100016662

## **1 Description of the site**

- 1.1 The application site comprises an area of approximately 7.9 hectares (19.73 acres) of broadly rectangular shaped land situated to between Low Road and Reedings Road, located to the south-east of the main built-up area of Barrowby. The site currently forms a single field of arable, agricultural land, and rises generally from south to north.
- 1.2 The site forms part of the Low Road, Barrowby development that is allocated in the adopted Local Plan (Site Ref: LV-H3), which is to comprise of a development of up to 270 new dwellings at a maximum density of 35 dwellings per hectare. The adopted Local Plan policy allocation includes a series of development principles to ensure that the proposed development is delivered in a comprehensive and co-ordinated manner; and to ensure that it appropriately assimilates to the edge of the existing built-up area of Barrowby.
- 1.3 The current application site consists of the southern parcel of the allocation site, which is under the control of Allison Homes. The north-western parcel has already been given planning permission for 49 dwellings (LPA Ref: S18/0093 and S19/2140) and for the construction of a food store (Ref: S20/1124). The food store has been built and is operational, and the housing has been completed. The Local Planning Authority are current in receipt of two planning applications for the development of the northern parcel; under the control of Persimmon Homes; which envisage development of that parcel for 67 dwellings; these applications are currently undetermined.
- 1.4 The application site is bordered by hedgerows to the north, south and west; whilst the eastern boundary is currently undefined. There are also several mature trees marking the perimeter of the site, but the site internal area is largely free from hedgerow and tree planting, with the exception of a small group in the south-eastern corner.
- 1.5 The site is located within the Harlaxton and Denton Bowl Landscape Character Area (South Kesteven Landscape Character Assessment, 2007). Whilst there are no formal public rights of way running through the site, there is an established, well used route running north to south from Reedings Road to Low Road, which crosses through the centre of the site.
- 1.6 Similarly, the proposed development site does not contain any designated built heritage assets, and the site is also well separated from the Barrowby Conservation Area, which is focused on the village centre.
- 1.7 The site is not subject to any formal ecological designations. However, the site is located within 2km of three Local Wildlife Sites; these include Barrowby Grasslands, Harlaxton Clays Wood, and Grantham Canal and Canal Bank.
- 1.8 The site falls within Flood Zone 1 of the Flood Map for Planning, and is also identified as being predominantly at low risk of surface water flooding; although there are some isolated areas of medium risk located towards the eastern boundary of the site.
- 1.9 The site currently consists of undeveloped agricultural land, which is identified as being Grade 1 and Grade 2 land quality on the Provisional Agricultural Land Classification Maps, and therefore, is defined as consisting of Best and Most Versatile Agricultural Land (BMVAL).

## **2 Description of the proposal**

- 2.1 The current application has been submitted as a hybrid planning application which seeks full planning permission for the erection of 175 dwellings with associated access,

infrastructure, open space and landscaping; and outline planning permission (with all matters reserved) for the erection of a community facility (Use Class F2b).

- 2.2 The application scheme has been the subject of revision during the course of the determination period following continued engagement between Officers and the Applicant, including attendance at the Council's Design PAD meetings. The revised proposals, which are subject to determination, were received in March 2024 and have been the subject of a further formal consultation with all consultees, neighbours and interested parties.
- 2.3 The proposals have been accompanied by a range of technical reports including Arboricultural Impact Assessment, Archaeological Desk Based Assessment, Ecological Impact Assessment, Transport Strategy and Drainage Strategy. The submission also includes the following plans: Proposed Site Layout, Proposed Materials Layout, Proposed House Types Pack, and Proposed Landscaping Strategy, which indicates that the development would consist of the following:
- 2.4 The proposed development scheme would provide 250 dwellings, which would consist of the following housing mix:
- Market Housing (122 dwellings)
    - 49 x 3-bed
    - 62 x 4-bed
    - 11 x 5-bed
  - Affordable Home Ownership (Shared Ownership and First Homes) (16 dwellings)
    - 2 x 1-bed
    - 6 x 2-bed
    - 4 x 3-bed
    - 4 x 4-bed
  - Affordable Homes (Affordable Rent) (37 dwellings)
    - 10 x 1-bed
    - 17 x 2-bed
    - 10 x 3-bed
- 2.5 The proposed dwellings would be 2-storeys throughout and would be constructed with three different forms of brick, with grey slate and clay pantile roofs. The proposed scheme includes a number of focal plots, positioned at key points throughout the site, including framing area of public open space, and at the termination of the primary streets. The proposed dwellings include brick detailing to frame windows and provide detail to the eaves; and also include chimneys and brick arches. Properties consist of a range of semi-detached and detached dwellings, which are arranged in a perimeter block layout.
- 2.6 Vehicular access to the site is proposed to be taken via the formation of two points of access onto Low Road to the south of the site. Both points of access would be a simple T-junction and would be 5.5m wide with a 2m footway on either side of the site. These two points of access are proposed to be connected by the primary street, which is proposed to loop round the centre of the site, and would directly serve dwellings as well as providing access to a

network of secondary streets, shared surfaces and edge lanes, which would provide further access to the proposed dwellings.

- 2.7 The Proposed Site Layout indicates that four points of pedestrian and cycle access would be provided along the northern boundary to link the application site with the adjacent Persimmon Homes development scheme. This would include the formation of a surfaced pedestrian and cycle link between Reedings Road and Low Road, which would follow the route of the existing, well-used pedestrian route through the site; this route would be a tree lined route that would provide a green corridor through the allocation site.
- 2.8 The proposed Primary Streets are proposed to be tree lined on both sides of the carriageway and would include roadside swales, with a 3m wide shared pedestrian and cycleway. Secondary streets would be 5.5m wide by would have a 2m wide footway on both sides; whilst shared surface drives would be 4.5m with a 1.8m service strip on one side. The proposed shared surfaces are highlighted as being constructed with block paving to assist in highlighting the variation in the street hierarchy.
- 2.9 The proposed development has been arranged with a central, primary area of public open space located along the northern boundary of the site, which is proposed to include an equipped play area and is proposed to align with the area of formal open space to be provided as part of the Persimmon Homes development. The mature hedgerow which defines the boundary between these two sites is proposed to be retained with the exception of the creation of gaps within the hedgerow to facilitate pedestrian and cycle access. A further area of public open space is to be provided along the eastern part of the site and is proposed to include a surfaced pedestrian loop, to provide a circular walking route throughout the site. A further landscaped buffer is to be provided along the southern boundary of the site, which corresponds with a gas pipeline easement.
- 2.10 Surface water drainage is proposed to be managed through SuDS, with a series of swales draining into an attenuation pond positioned in the south-eastern corner of the site; which will subsequently outfall to an existing watercourse to the east of the site at a controlled rate. Foul water drainage is proposed to be collected via a network of pipes situated beneath the proposed streets, which will then be pumped to the existing Anglian Water foul drainage network positioned on Low Road.
- 2.11 The outline planning permission relates to an area of 0.28 hectares of land positioned on the western boundary of the site; immediately adjacent to Low Road and the existing Scouts and Guides Club. All matters are reserved for the outline application, and the current application is seeking to establish the principle of the use of the land for a community facility.

### 3 Relevant History

<b>Application Ref.</b>	<b>Description of Development</b>	<b>Decision</b>
S18/0093	Construction of 49 dwellings, construction of new vehicle access – Outline application with the matter of access included	Approved Conditionally 02.05.2019
S19/1131	Outline application for development of up to 83 dwellings including details of access	Pending Consideration
S19/2140	Approval of Reserved Matters for appearance, landscaping, layout and scale for 49 dwellings following grant of outline permission S18/0093	Approved Conditionally 07.12.2020
S20/1124	Erection of food store (Use Class E1(a)) and associated car parking	Approved Conditionally 12.07.2021

S23/0299	Erection of 67 dwellings with associated vehicular access from Reedings Road and Owen Road, and associated public open space and infrastructure	Pending Consideration
S24/0240	Outline planning application for the erection of a Community Centre (Use Class F2b) (All matters reserved)	Pending Consideration

- 3.1 As detailed above, the application site forms part of the Low Road, Barrowby allocation; which falls under the control of three separate parties; Persimmon Homes, Allison Homes and Platform Housing Group.
- 3.2 The Platform Housing Group site has already been given planning permission for 49 dwellings (Ref: S18/0093 and S19/2140); and this development has been completed. In connection with this, it is important to note that the completed housing scheme comprises of 100% affordable dwellings, which are 22 (no) shared ownership dwellings and 27 (no) affordable rent dwellings.
- 3.3 The Local Planning Authority are also in receipt of two planning applications for the development of the northern parcel by Persimmon Homes. These applications envisage the development of the site for 67 dwellings; and are anticipated to be presented to Planning Committee in June 2024.
- 3.4 Furthermore, in relation to the outline planning application for the use of the application site as a community facility, it is understood that Barrowby Parish Council are currently exploring a number of sites for the provision of a new village hall; this includes the site identified as part of the current application, but also includes the former British Legion site located further north on Low Road. In this regard, the LPA are currently in receipt of an outline planning application for the erection of a new village hall on the British Legion site (Ref: S24/0240), which has been submitted on behalf of the Parish Council.

## 4 Policy Considerations

### 4.1 South Kesteven Local Plan 2011-2036 (Adopted January 2024)

Policy SD1 – The Principles of Sustainable Development in South Kesteven

Policy SP6 – Community Services and Facilities

Policy H1 – Housing Allocations

Policy H2 – Affordable Housing Contributions

Policy H4 – Meeting All Housing Needs

Policy EN1 – Landscape Character

Policy EN2 – Protecting Biodiversity and Geodiversity

Policy EN4 – Pollution Control

Policy EN5 – Water Environment and Flood Risk Management

Policy DE1 – Promoting Good Quality Design

Policy SB1 – Sustainable Buildings

Policy OS1 – Open Space

Policy ID1 – Infrastructure for Growth

Policy ID2 – Transport and Strategic Transport Infrastructure

Policy LV-H3 – Low Road, Barrowby

### 4.2 Design Guidelines for Rutland and South Kesteven Supplementary Planning Document (Adopted November 2021)

### 4.3 National Planning Policy Framework (NPPF) (Published December 2023)

Section 2 – Achieving sustainable development.

Section 4 – Decision-making

Section 5 – Delivering a sufficient supply of homes

Section 8 – Promoting healthy and safe communities

Section 9 – Promoting sustainable transport

Section 11 – Making effective use of land

Section 12 – Achieving well-designed and beautiful places

Section 14 – Meeting the challenge of climate change, flooding and coastal change

Section 15 – Conserving and enhancing the natural environment

#### 4.4 **South Kesteven Local Plan Review 2021 – 2041 (Regulation 18 Draft)**

### **5 Representations received**

#### 5.1 **Active Travel England**

5.1.1 ATE has identified a number of outstanding matters which require clarification and submission of further details. It is recommended that a decision be deferred until these have been secured and reviewed.

5.1.2 The trip generation analysis provided with the application suggests a reliance of vehicle use and is restricted to peak hours; in turn, mode share targets associated with the development are lacking in detail and ambition. More in-depth analysis of existing active travel routes should be carried out to inform an appropriate package of off-site improvements, which will help to remove barriers to improved active travel uptake. These improvements should be targeted to improve significant issues with the existing active travel network linking the site with both Barrowby and Grantham. Of particular concern is the lack of cycling infrastructure along Low Road, and the lack of crossing facilities on major routes through both Barrowby and the western side of Grantham.

#### 5.2 **Anglian Water**

5.2.1 No objections.

5.2.2 The foul drainage from this development is in the catchment of Marston (Lincs) Water Recycling Centre that will have available capacity for these flows.

#### 5.3 **Barrowby Parish Council**

5.3.1 Support and Section 106 request.

5.3.2 It is the Parish Council's understanding that the number of affordable housing units is 30% across the whole Low Road development, and not per parcel. Platform Housing have provided 49 (100%) affordable homes, and Persimmon Homes are providing 30% so this should be considered when calculating the final overall figure for all new housing at Low Road.

5.3.3 Currently the existing community facilities are either at, or very near full capacity or have limited capacity due to their size. There will become an urgent need for new facilities to be provided to meet the increased demand the new developments will bring. As such, those will either need to be provided on the new sites themselves, or alternatively, we would seek a financial contribution towards these facilities being provided elsewhere within the Parish.

5.3.4 Contributions are requested for improving leisure facilities and play equipment, provision of additional sports facilities, and the provision of a new community building.

#### 5.4 **Cadent Gas**

5.4.1 No comments to make.

#### 5.5 **Environment Agency**

5.5.1 No comments to make.

#### 5.6 **Heritage Lincolnshire**

5.6.1 No objection subject to conditions.

5.6.2 The site for the proposed development lies in an area of archaeological interest. Barrowby is first mentioned in the Domesday Survey, however, the settlement is thought to date from the Anglo-Saxon period. It lies within a wider landscape of recorded archaeological remains dating from the pre-historic period and evidence of Iron Age and Romano-British settlement. Archaeological remains recorded within, or in close proximity to, the proposed development include medieval pottery, a Neolithic flint blade and Romano-British pottery. Flints have also been found to the southeast of the proposed site. A detailed magnetometry survey of the site was undertaken in 2022 and a Desk Based Heritage Assessment was compiled in support of the project in 2022.

5.6.3 The geophysical survey identified a number of anomalies which are likely to be of archaeological origin. These include an enclosure with internal features including possible ring ditches and pits, linear boundaries and associated enclosures and an unenclosed ring ditch. A previous survey of the site immediately north of the proposed development identified similar anomalies.

5.6.4 The developer should be required to commission a Scheme of Archaeological Work, in the form of an archaeological evaluation, this should consist of trial trenching.

#### 5.7 **Historic England**

5.7.1 No comments to make.

#### 5.8 **Lincolnshire County Council (Education)**

5.8.1 LCC Education has no comments to make on this consultation. There is sufficient capacity in the locality for the children generated by this scheme.

#### 5.9 **Lincolnshire County Council (Highways and SuDS)**

5.9.1 No objection subject to conditions and Section 106 contributions.

5.9.2 The proposed development would generate up to 104 two-way vehicle movements in a peak hour. Data extracted from the 2011 census indicates that the traffic would be split relatively evenly at the site accesses, with 46% of people wishing to travel to / from the west, through the village centre and to either the A52 or A1 and the remaining 54% routing towards Grantham along Low Road and Dysart Road. The development traffic would not present a material impact at any off-site junctions. In view of the above, the Highways Authority does not consider that this proposal would result in a severe impact with regard to the NPPF.

5.9.3 Car parking spaces are provided in line with Lincolnshire County Council guidance, and the proposed layout conforms to the principles of the Comprehensive Masterplan.

5.9.4 Lincolnshire County Council does not consider that the most appropriate form of SuDS drainage has been proposed for the site. The road design, on some streets, includes gullies and pipes, which could be modified to a more compliant SuDS scheme where the surface

water flows on the surface and run across to the swale without the need for gullies and pipes. However, the principles of the drainage strategy are broadly acceptable but this will be determined through a technical review at the Section 38 stage. It is requested that drainage conditions are included in the decision notice.

5.9.5 The Highway Authority is actively seeking to promote cycling and walking in a number of towns with the County, including Grantham, by means of a series of cycling and walking network plans. The Authority therefore requests that any grant of consent for this application be conditions upon the applicants making a financial contribution of £255,132 towards the costs of delivering the initiatives set out within the Grantham cycling and walking network plan.

5.9.6 A travel plan is to include a redeemable free bus pass for each dwelling for one year. Residential will have up to one year to redeem this bus pass from the day they move in. The maximum cost of this is up to £171,000, which will depend on the uptake of the scheme.

5.9.7 Conditions are requested for an improved footway and bus stop, inclusive of poles, flags and timetables; as well as a culvert risk assessment, Construction Management Plan, estate road phasing plan, and detailed drainage strategy.

#### 5.10 **Lincolnshire Fire & Rescue Service**

5.10.1 No comments received.

#### 5.11 **Lincolnshire Wildlife Trust**

5.11.1 Holding objection.

5.11.2 The Ecological Impact Assessment for the proposed development gives several recommendations to enhance the biodiversity of the site post construction. We strongly encourage that a Biodiversity Enhancement and Mitigation Plan is produced by the applicant as well as a Biodiversity Net Gain assessment. A full UK Habitat Assessment survey should be conducted as part of this, with an accompanying Biodiversity Metric calculation for baseline setting to exceed the mandatory minimum of 10% net gain as well as a habitat management and monitoring plan for the 30 year period is required as required in the Environment Act 2021. Species specific enhancements for bats, birds and hedgehogs should also be included in the BEMP as recommended in the Ecological Impact Assessment.

#### 5.12 **National Highways**

5.12.1 No objection subject to conditions.

5.12.2 We have reviewed the Transport Assessment accompanying this planning application which sets out the vehicle trip generation and distribution for this development. The trip generation and distribution has followed the approach as agreed during pre-application discussions with the applicant. This identifies that this development would result in less than 30 new vehicle trips at the A1 / A52 interchange. In light of this, we are content that further impact assessment in relation to the junction are not required.

5.12.3 According to the Flood Risk Assessment, the site currently drains through a combination of overland flows and land drainage to the "trough" location to the east of the A1, where it enters the existing culvert under the A1 to Barrowby stream to the east. As the culvert is an ordinary watercourse, the applicant has the right to discharge subject to approval from the LLFA. However, there is a risk to National Highways network and assets should the culvert

fail as a result of additional water through the culvert. Therefore, we request conditions for a priority culvert risk assessment and mitigation.

#### 5.13 **Natural England**

5.13.1 No comments received.

#### 5.14 **NHS Lincolnshire Integrated Care Board**

5.14.1 Section 106 contribution requested.

5.14.2 £115,500.00 requested to contribute to the expansion in capacity of facilities within the Grantham and Rural Primary Care Network.

#### 5.15 **SKDC Planning Policy – Affordable Housing Officer**

5.15.1 No objection subject to Section 106 Agreement.

5.15.2 To provide 30% affordable housing on a development of 175 units would require 53 units of a relevant tenure. The developer is policy compliant about this point, which they have set out in the Affordable Housing Statement.

5.15.3 In the Applicant's Affordable Housing Statement, they have proposed to deliver a tenure split of 70% (37 units) for affordable rent and 30% (16 units) for affordable ownership. Although the current Local Plan sets out a tenure split of 60/40, this is currently being review. The Local Housing Needs Assessment undertaken by AECOM recommends that SKDC could support a tenure split of between 60/40 and 70/30. Therefore, the Applicant's proposed tenure split is supported by the updated evidence.

#### 5.16 **SKDC Conservation Officer**

5.16.1 No comments received.

#### 5.17 **SKDC Environmental Protection Officer**

5.17.1 No objection subject to conditions.

## **6 Representations as a Result of Publicity**

6.1 The application has been advertised in accordance with the Council's Statement of Community Involvement and letters of representation have been received from 2 interested parties; of which 1 has raised formal objections, and 1 has remained neutral. The material considerations raised within the representations can be summarised as follows:

### (1) Principle of Development

- Objection to the development of greenfield land.

### (2) Access and Highways Impacts

- The existing road network cannot accommodate any increase in traffic, and so there will be an unacceptable impact on highways safety.

### (3) Climate Change

- All dwellings should be required to include solar panels, EV charging points and state of the art heating systems.

### (4) Infrastructure for Growth

- Insufficient public transport infrastructure to accommodate the development.
- Insufficient health care capacity to accommodate the development.
- Insufficient education capacity to accommodate the development.

## **7 Evaluation**

7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise. The Council adopted the South Kesteven Local Plan 2011-2036 on 30 January 2020, and this forms the Development Plan for the District and is the basis for decision-making for the current application.

7.2 The Local Planning Authority have also adopted a Design Guidelines Supplementary Planning Document (SPD) (Adopted November 2021), and this document is material consideration in the determination of planning applications.

7.3 The policies and provisions of the National Planning Policy Framework (NPPF) (“the Framework”) (Published December 2023) are also a relevant material consideration in the determination of planning applications.

7.4 It is also appreciated that the Local Planning Authority are also in the process of conducting a Local Plan Review. The Regulation 18 consultation on the draft Plan was carried out between February and April 2024. At this stage, the policies contained within the draft Plan Review can be attributed very little weight in the determination of planning applications. However, the updated evidence base which accompanies the ongoing Plan Review is a material consideration, and must be taken into account in the determination of planning applications.

### **7.5 Principle of Development**

7.5.1 It is acknowledged that public representations received on the application have raised objections to the principle of development on the site due to the loss of a greenfield site.

7.5.2 As referenced above, the current application site forms part of the Low Road, Barrowby allocation site identified in Policy LV-H3 of the adopted Local Plan, which is allocated for development of up to 270 new dwellings. The current application site forms the southern parcel of the allocation site, and falls wholly within the identified allocation boundary. As such, the principle of residential development on the application site has been established by virtue of the site’s allocation within the adopted Local Plan.

7.5.3 As detailed above, development of the Platform Housing Group parcel of the allocation site has been completed and has delivered 49 dwellings on the site. The Local Planning Authority are also in receipt of a full planning application submitted by Persimmon Homes for the northern parcel of the allocation site for development of 67 dwellings. The current application scheme seeks planning permission for 175 dwellings, which would result in the total number of dwellings being delivered across the allocation site being 291 dwellings. This total quantum of development would exceed the threshold identified within the allocation policy.

7.5.4 However, the current application proposes 175 dwellings across an area of 5.46 hectares, which equates to a net density of 32 dwellings per hectare. This density of development remains within the maximum density permitted within the Local Plan allocation policy and, it is Officers’ assessment that the proposed scheme remains in broad accordance with the

overall allocation policy and provides an appropriate density of development for an edge of settlement site. In addition, the proposed quantum of development would be consistent with the requirements of the Framework in relation to making an effective use of land. As such, it is Officers' judgement that the proposed quantum of development is acceptable.

7.5.5 Furthermore, the site allocation policy includes a series of development principles, which are set out, and commented on in relation to the current application, below:

(a) A masterplan is required for the entire site. All parties shall work together to bring forward a comprehensive plan for the site, including the phasing of the development. The masterplan is to be agreed by the Council following consultation with the local community. Detailed proposals will only be permitted where these are in accordance with the agreed masterplan.

The Comprehensive Masterplan for the allocation site was approved by Cabinet in September 2023, following extensive engagement with the Council's Design PAD service, and a 21-day formal consultation with all local residents, statutory consultees and Barrowby Parish Council. A copy of the approved masterplan document is enclosed at **Appendix A**.

The current application proposals accord with the approved masterplan in most respects:

- Vehicular access to the site is taken via Low Road.
- Extensive areas of public open space has been provided on the eastern and southern boundaries of the site, and this includes SuDS attenuation basins and swales.
- The application provides affordable housing in accordance with the requirements of Policy H2.
- The scheme provides a hierarchy of three different types of streets; a primary street, shared surface / secondary street and private drives / edge lanes.
- Grassed verges with street trees on both sides of the carriageway have been included on the primary street.
- Material include red brick, with use of render, and the scheme also includes split render on some plots, with stone banding. The properties also include the use of chimneys, brick and stone cills, and brick banding.
- Housing fronts directly onto green corridors to provide an active and positive frontage. Green corridors have also been provided east-west along the centre hedgerow and north-south from Reedings Road to Low Road. This north-south connection includes a dedicated footpath and cycle access.
- Housing fronts onto the central green to provide informal natural surveillance.

However, it is acknowledged that there also two notable conflicts with the approved masterplan.

Firstly, as approved, the masterplan shows the primary area of public open space within the Allison Homes parcel to be provided centrally within the application site, with an additional area of open space located along the eastern boundary of the site. However, the current application proposes to provide the primary area of open space immediately adjacent to the northern boundary of the site, so that it aligns with the proposed open

space provided as part of the Persimmon Homes application. With regards to this, Officers' note that previous versions of the masterplan included the provision of a single, centralised area of public open space within the allocation site; and this was an arrangement that was particularly encouraged by Officers' as it would assist in ensuring the allocation site would function comprehensively, rather than being viewed as three separate development parcels. Whilst the final masterplan document moved away from this arrangement, it is Officers' assessment that reverting back to the previously proposed single, centralised open space would provide a betterment to the overall development scheme, and should be supported.

Secondly, the current application scheme includes proposals for the provision of 0.28 hectares of land for a proposed community facility at the western boundary of the site. The Local Plan allocation is for residential uses only, and does not include any mention of non-residential uses on the site. Similarly, the approved masterplan document did not include any reference to non-residential uses on the allocation site. As such, the provision of a community facility would be in clear conflict with the Local Plan allocation policy, and the approved masterplan.

Notwithstanding the above, it is noted that the provision of a community facility on the site does not impact on the ability of the wider allocation site to deliver the identified quantum of dwellings, and also does not impinge on the ability to meet the other allocation principles. As such, it is Officers' assessment that the weight to be attributed to the conflict with the masterplan document and the policy requirement would be minimal in this case.

- (b) Additional treatment capacity is required at waste water treatment works and new discharge permits are required for water quality targets. This should be incorporated early on the development of scheme specifics as part of a scheme wide delivery strategy which demonstrates that capacity is available or could be made available to serve the development subject to phasing.

Anglian Water have been consulted on the application proposals and have confirmed that there is sufficient capacity at the treatment facility. As such, they have not identified any requirement to include conditions for phasing of the development to enable adequate opportunity to enhance capacity to accommodate the development scheme.

- (c) The masterplan and development proposals will incorporate a substantial landscape and boundary treatment for the southern and eastern edges of the site allocation. No development will be permitted beyond the site allocation.

As referenced above, the approved masterplan document identified that the proposed allocation scheme would provide extensive open spaces on the eastern and southern boundaries of the site, which would include SuDS attenuation basins, swales and areas of play space.

The current application scheme accords with the approved masterplan in this respect, and falls wholly within the allocation boundaries.

- (d) The phasing of the development shall occur in accordance with the Infrastructure Delivery Plan, with particular relevance to education and capacity at Barrowby Primary School.

Lincolnshire County Council (as Local Education Authority) have been consulted on the application proposals and have confirmed that there is sufficient existing capacity in the school to accommodate the children generated by the development.

- (e) The masterplan and development proposals will provide suitable and appropriate residential amenity buffers to the eastern edge in respect of the electricity pylons and the A1 and the southern edge in respect of the high pressure gas line.

As referenced above, the approved masterplan document identified that the allocation scheme would provide extensive area of open space on the eastern and southern boundaries of the site; this was reflective of the identified constraints posed by the electricity pylons and the A1 to the east, and the gas easement to the south. The current application scheme is consistent with the approved masterplan in those respects.

The scheme has been accompanied by a Noise Impact Assessment, which identifies an appropriate scheme of acoustic mitigation to ensure dwellings would benefit from an appropriate level of residential amenity. The Council's Environmental Protection Team have been consulted on the application, and have confirmed that, subject to the imposition of conditions requiring the development to be completed in accordance with the identified scheme of acoustic mitigation, they have no objections.

- (f) Potential landscape impacts should be mitigated through high quality design and landscaping.

The proposed development scheme would invariably have a degree of landscape impact due to the change in the use of the land from its current greenfield, agricultural use to a residential development site. However, it is Officers' assessment that the inclusion of the landscape buffers to the eastern and southern boundary of the site assists in softening the edge of the development, to ensure that the scheme would provide an appropriate transition into the main built-up area of Barrowby.

Similarly, the scale of development proposed, coupled with the retention and enhancement of the existing boundary vegetation, would also further limit the potential visual impact of the development scheme.

Consequently, it is Officers' assessment that the current application scheme complies with the above criteria.

- (g) The development should provide net gains in biodiversity on site and contribute to wider ecological networks where possible.

The latest submitted plans have been accompanied by an updated Biodiversity Net Gain Assessment, which reflects the revised Landscaping Masterplan Strategy. The results of the BNG assessment are as follows:

- Habitat / Area Units
  - Baseline units = 16.88 units
  - Post-development units = 16.89 units
  - Biodiversity Net Gain = 0.01 units
- Hedgerow Units
  - Total Baseline Units = 10.12 units
  - Post development units = 11.43 units

- Biodiversity Net Gain = 1.31 units (12.90%)

As such, the proposed development will provide a biodiversity net gain on site.

In addition, the submitted Ecological Impact Assessment demonstrates how the proposed development scheme will contribute to providing a wider ecological network through the provision of hedgehog highways; bat and bird roosting boxes and additional boundary landscaping and planting.

Consequently, it is Officers' assessment that the current application scheme complies with the above criteria.

- 7.5.6 Taking the above into account, the principle of residential development on this site has been established through its allocation within the adopted South Kesteven Local Plan. Whilst there is a conflict with the approved masterplan, as a result of the proposals for a centralised open space on the northern boundary of the application site, and the proposed community facility land, it is Officers' assessment that the proposed open space arrangements would result in a better outcome than the solution identified in the approved masterplan insofar as it would encourage a functional interaction between the different parcels of the allocation site. In respect of the community facility land, this is discussed in further detail below; however, it is Officers' assessment that the introduction of this additional land use does not impact on the ability of the allocation site to deliver the required quantum of residential development, or impinge on the delivery of a well-designed and comprehensive scheme. As such, it is Officers' assessment that the proposed development would accord with the development principles of the Local Plan allocation when taken as a whole, and therefore, are acceptable in principle, subject to material considerations. These matters are discussed in further detail below.
- 7.5.7 As referenced above, the proposed outline application relating to the use of the western part of the site as a community facility (Use Class F2b) is considered to be contrary to Policy LV-H3. The allocation policy refers to residential uses only, and does not include any mention to non-residential uses, and as such, the provision of a non-residential use would be contrary to the allocation. Furthermore, the allocation requires all development proposals to be carried out in accordance with the approved masterplan and as referenced above, the approved masterplan document did not include any reference to the provision of land for use a community facility. Consequently, the community use would also be contrary to the approved masterplan document.
- 7.5.8 However, as discussed above, it is Officers' assessment that the proposed community use land does not impact on the ability of the allocation scheme to deliver the 270 dwellings required by the Local Plan allocation; and also, does not preclude the delivery of a well-designed and comprehensive development scheme.
- 7.5.9 In addition, it is also noted that representations received from the Parish Council have highlighted that an additional community facility is required within the village in order to accommodate the growth in population that results from the development of the allocation site. Consequently, the provision of land for a community facility should be viewed as providing mitigation to offset the impact of the development, and therefore, is deemed to be acceptable in principle.
- 7.5.10 Notwithstanding the above, Policy SP6 (Community Services and Facilities) identifies that proposals for new community facilities will be supported, and encourages access by sustainable modes of transport, and for such facilities to be accessible and adaptable, and

where applicable operated without detriment to local residents. The proposed community use land is located on the western edge of the application site, and would benefit from a direct frontage onto Low Road. The proposed site location would assist in creating a hub of community uses, including the adjacent Scout and Girls Club, as well as the Co-Op foodstore. The position of the community use land would be immediately opposite an existing bus stop at the junction of Low Road and The Drift, which would also aid access by sustainable forms of transport. As such, the proposed community use facility would be in accordance with Policy SP6 of the adopted Local Plan.

7.5.11 Taking the above into account, it is Officers' assessment that the proposed development of the site for 175 dwellings and a community facility would, on balance, be in accordance with the overall spatial strategy for the District, as set out in Policy SP1, SP2, SP6, H1 and LV-H3 of the adopted Local Plan, and Section 5, 8 and 11 of the NPPF. As such, the principle of development is acceptable, subject to material considerations.

## 7.6 Meeting All Housing Needs

7.6.1 It is noted that representations received on the application from Barrowby Parish Council have indicated that they believe the Local Plan requirements for 30% affordable housing are applicable to the site allocation as a whole. Therefore, given that the Platform Housing scheme has been 100% affordable dwellings, the level of affordable housing to be provided as part of the current application should be reduced accordingly.

7.6.2 In this respect, Policy H2 (Affordable Housing Contributions) requires all developments comprising 11 or more dwellings to make provision for 30% of the scheme's total capacity as affordable housing.

7.6.3 The current application proposals seek full planning permission for the erection of 175 dwellings and, therefore, are subject to the policy requirements of Policy H2, and as such, each application is required to provide a minimum of 30% affordable housing.

7.6.4 Whilst it is noted that the Platform Housing scheme has provided 100% affordable housing on site, which results in the delivery of 49 affordable dwellings on the allocation; this was not secured through the Section 106 Agreement on the outline planning permission and, therefore, in planning policy terms, this parcel of land is only required to maintain 30% as affordable housing. As such, the additional proportion of affordable housing delivered as a result of Platform Housing Group developing the site has not been accounted for in the planning considerations of the allocation site, and as such, the remainder of the allocation is still required to ensure 30% affordable housing delivery. Furthermore, any additional affordable housing provided across the allocation scheme as a whole would be viewed as a significant public benefit and a betterment than that which would have been achieved under the allocation policy requirements.

7.6.5 The application submission has been accompanied by an Affordable Housing Statement which confirms that 30% of the total number of units would be affordable dwellings. The proposed affordable housing would comprise of 70% (37 units) as affordable rented dwellings, and 30% (16 units) as affordable homeownership dwellings, which would include the requirement for 25% of affordable dwellings as First Homes.

7.6.6 The Council's Planning Policy Officer – Affordable Housing has been consulted on the application proposals and has confirmed that the proposed quantum and tenure mix of the affordable dwellings would meet the requirements of Policy H2 of the adopted Local Plan and Section 5 of the Framework. In this regard, whilst Paragraph 2.32 of the Local Plan

supporting text supports a 60/40 split of affordable rent to affordable homeownership, it is appreciated that the adopted Policy requires the affordable housing tenure split to be reflective of local needs. In this context, the Local Housing Needs Assessment (2023) published as part of the ongoing Local Plan Review suggests that a range of 70/30 to 60/40 affordable rent to ownership may be acceptable. As such, the proposed tenure split would be acceptable.

- 7.6.7 In respect of the distribution of the affordable dwellings within the application site, this would be secured through the submission of a detailed affordable housing scheme, pursuant to the Section 106 Agreement. This would ensure that the proposed affordable dwellings are appropriately distributed throughout the application site. Nonetheless, it is Officers' assessment that the proposed housetypes for the affordable dwellings would be visually indistinguishable from the market dwellings, which will ensure that they are appropriately integrated into the community.
- 7.6.8 As such, subject to the completion of a Section 106 Agreement, the scheme would be in accordance with Policy H2.
- 7.6.9 In terms of the mix of property types and sizes to be provided across the development, Policy H4 (Meeting All Housing Needs) requires all major proposals for residential development to provide an appropriate type and size of dwellings to meet the needs of current and future households in the District.
- 7.6.10 In this respect, the 2023 Local Housing Needs Assessment advises the following housing mix should be provided for the period to 2041:

Number of bedrooms	Market	Affordable Ownership	Affordable Rent
1 bedroom	1% – 5%	10% - 15%	30% to 35%
2 bedrooms	30% – 35%	40% - 45%	45% to 50%
3 bedrooms	45% - 50%	30% - 35%	20% to 25%
4 bedrooms	10% - 15%	5% - 10%	1% to 5%
5+ bedrooms	1% - 5%	1 to 5%	

- 7.6.11 In comparison, the submitted application scheme would provide the following mix:

Number of bedrooms	Market (122 dwellings)	Affordable Ownership (16 dwellings)	Affordable Rent (37 dwellings)
1-bedroom	0 (0%)	2 (12.5%)	10 (27%)
2-bedrooms	0 (0%)	6 (37.5%)	17 (46%)
3-bedrooms	49 (40%)	4 (25%)	10 (27%)
4-bedrooms	62 (51%)	4 (25%)	0 (0%)
5+ bedrooms	11 (9%)	0 (0%)	0 (0%)

- 7.6.12 In respect of the above, it is Officers' assessment that the proposed affordable housing mix would be broadly in accordance with the recommendations contained within the latest Local Housing Needs Assessment. Whilst there is a notable over-provision of 4-bedroom affordable ownership dwellings, it is Officers' assessment that the affordable housing properties would provide an overall mixed and balanced range of property types and sizes.
- 7.6.13 However, in reviewing the proposed market housing mix, Officers' acknowledge that this is markedly disproportionate to the recommended mix contained within the Housing Needs Assessment. In particular, the scheme would provide a substantial over provision of 4- and 5-bed dwellings, and no 2-bed dwellings. Nonetheless, the proposed market housing mix must be considered in the context of the proposed affordable ownership housing mix; this is because these two tenures would be offering a similar product, albeit the affordable ownership dwellings would offer a lower entry point to homeownership. In this context, it is Officers' assessment that the application proposals would provide a range of opportunities to homeownership across a variety of property types and sizes.
- 7.6.14 Furthermore, it is noted that Policy H4 includes a requirement for 10% of all dwellings on major residential developments to be provided to the standards of Part M4(2) of Building Regulations. The current application does not provide any details in relation to the delivery of this policy requirement. However, it is Officers' assessment that these details could be secured through planning conditions requiring the submission of a plan to indicate which dwellings will be delivered to M4(2) standards; this is proposed to be imposed as a pre-commencement condition.
- 7.6.15 Taking the above into account, it is concluded that, subject to conditions and the completion of a Section 106 Agreement, the application proposals would be in accordance with the principles of Policy H2 and H4 of the adopted Local Plan, and Section 5 of the National Planning Policy Framework.

## 7.7 **Design Quality and Visual Impact**

- 7.7.1 In relation to the design quality and visual impact of the scheme, it is appreciated that the proposed development would invariably result in a visual impact as a result in the change from the current, undeveloped, agricultural fields to a residential housing scheme. However, the principle of this change in character and appearance has effectively been established through the site's allocation within the adopted Local Plan.
- 7.7.2 Notwithstanding this, in order to secure a high quality and comprehensive development, which is appropriate for the local context, the Local Plan allocation includes a series of development principles, that include the following in relation to the design of the development:
- *A masterplan is required for the entire site. All parties shall work together to bring forward a comprehensive plan for the site, including the phasing of development. The masterplan is to be agreed by the Council following consultation with the local community. Detailed proposals will only be permitted where these are in accordance with the agreed masterplan.*
  - *The masterplan and development proposals will incorporate a substantial landscape and boundary treatment for the southern and eastern edges of the site allocation. No development will be permitted beyond the site allocation.*
  - *Potential landscape impacts should be mitigated through high quality design and landscaping.*

7.7.3 As detailed above, the comprehensive masterplan for the site has been approved by Cabinet following consultation with all consultees and local residents. The approved masterplan includes the following key design principles:

- *Extensive areas of public open space are to be provided on the eastern and southern boundaries of the site; including SuDS attenuation basins and swales and areas of play space.*
- *In line with Highways Authority guidance, there will be a hierarchy of three different types of streets; Primary Street, Shared Surface (Secondary Street); and Private Drives / edge lanes.*
- *Grassed verges with street trees will be in place on one side of the carriageway of the primary street with opportunities for hedgerow planting and trees within front gardens of dwellings on the other side of the carriageway.*
- *The proposed housing and indicative materials will include a mix of red brick, stone and the use of render or cladding on feature buildings. Features will also include the use of chimneys, stone cills, joint detailing, contrasting brick banding, lintel details with arched lintels and glazing bar details.*
- *Housing will front onto green corridors to create a positive frontage. Green corridors will provide dedicated footpath and cycle access through the site, east to west along the central hedgerow and north to south from Reedings Road to Low Road.*
- *The Central Green will provide a focal space for play, activities and events set within an informal landscaped setting. The open space will be easily accessible and located along a proposed footpath / cycle route. Housing will front onto the Central Green providing informal natural surveillance of the open space.*

7.7.4 As discussed above, the comprehensive masterplan was the result of extensive engagement between Officers' and the Applicant, including presentation at the Council's Design PAD service. Similarly, the current application scheme has also been the subject of presentation at the Council's Design PAD meetings, and a number of revisions have been made to the scheme in response to the comments raised during the Design PAD.

7.7.5 In particular, the proactive engagement with the Council's Design PAD service has resulted in the following amendments being made to the scheme:

- Additional points of connection have been made from the site to the bus stops located on Low Road.
- Dwellings have been reorientated so that they front onto the hedgerow to the north of the site.
- The Locally Equipped Area of Play has been relocated from the eastern boundary to the centralised area of open space.
- Edge lanes have been included to connect the private drives and to enhance permeability through the site.
- The footway and cycleway have been segregated for the north-south connection to Low Road.
- Additional tree planting has been included in the public open space to the east of the site.

- Updates to the house types to include additional detailing and variation in materiality.

- 7.7.6 In relation to the above, the Council's Principal Urban Design Officer has been actively engaged on the application proposals, and they provided comments on the originally submitted plans, which identified a number of concerns. However, as referenced above, a number of revisions have been made to the scheme in response to the matters discussed during the Design PAD meetings, which has included extensive engagement with the Urban Design Officer. This has included the provision of more substantial corridor between the built form and the east-west hedgerow running to the north of the site, the re-location of the LEAP to the centralised open space and revisions to the proposed housetypes to reflect the details included within the approved masterplan. It is the Case Officer's assessment that these revisions are sufficient to overcome the concerns raised by the Urban Design Officer, so that the scheme would now perform positively against Building for a Healthy Life. Notwithstanding this, further comments are being sought from the Urban Design Officer and will be reported through the late items paper.
- 7.7.7 In respect of the issue relating to the differentiation in site levels between the Allison Homes site and the footpath link to the Platform Housing site to the north-west, this forms part of the land identified as a proposed community hall. As detailed above, this element of the proposal is subject to an outline application with all matters reserved, and as such, information relating to detailed development of the site would be required as part of subsequent reserved matters applications. In this case, it is the Case Officer's assessment that conditions requiring the provision of site levels details, with particular reference to the provision of an appropriate footpath connection to the north-west of the site, as part of any future reserved matters application for the community hall land would be appropriate to address this concern.
- 7.7.8 Furthermore, as previously discussed, it is Officers' assessment that the application proposals are in accordance with the development principles contained within the allocation policy, and the key design principles contained within the approved comprehensive masterplan.
- 7.7.9 The Proposed Site Layout is clear and coherent and adopts an outward facing approach, which provides appropriate connections to the remainder of the site allocation, and the nearby local facilities. The scheme adopts a perimeter block layout, which provides positive frontages to areas of public open space, and the distribution of housetypes ensures that these spaces are enclosed with strong housetypes.
- 7.7.10 The proposed development scheme includes the street hierarchy advocated by the approved masterplan, which results in a development scheme which is easy to navigate and is legible. The proposed primary street appropriately includes street trees positioned within a wide grass verge; and the street surfacing materials are appropriately varied throughout the site to further enhance legibility.
- 7.7.11 The proposed dwellings would be constructed with a mixture of bricks, and dwellings also include render and a mix of brick and stone detailing, and strong features at key focal points. Conditions are proposed to require the submission of detailed boundary treatments for the dwellings to ensure that these further enhance the street hierarchy and character areas, to further enhance legibility. Conditions are also proposed to require the development to be carried out in accordance with the approved materials palette.
- 7.7.12 As referenced above, the proposed development would invariably result in a visual impact on the character of the area as a result of the change from undeveloped agricultural land to

a residential development site. In addition, it is also appreciated that the site occupies an edge of settlement location, which means that the development proposals will be prominent when entering the village to the east along Low Road. In this respect, it is appreciated that the development principles of the site allocation requires potential landscape impacts to be mitigated through the design of the development and landscaping.

7.7.13 In view of the above, the application scheme has been accompanied by a Landscape and Visual Appraisal (Influence) (Dated December 2023), which concludes the following:

- The proposals will close the gap between existing residential housing development in Barrowby to the north and the packet of residential development off Low Road and The Drift to the south. The proposed development scale, layout and type of mixed residential units will not be seen as out of context with the character of Barrowby. It is judged that this will not change the wider landscape character or the experience of transitioning from open countryside into built development.
- There are limited landscape impacts overall on the wider study areas, from many locations the proposals will not be appreciated at all. The proposed development will be within the confines of the settlement edge of Barrowby, connecting built form between the northern section of Barrowby village and residential development off The Drift and Low Road to the south. Housing development is not an uncommon feature within this local landscape, it is anticipated that there will not be a significant adverse impact on the wider landscape of the study area.
- The majority of assessed visual receptors are judged to have impacts varying from negligible to medium / high. Those which are assessed to have the greater degree of impact are users of PRow Barr 8/1 to the west of the application site, and residents off Low Road to the south-west of the application site.
- Users of PRow Barr 8/1 to the west of the application site only experience a limited view towards the application site as the PRow terminates at the busy junction of The Drift and Low Road. This corner of the application site is allocated for community use. The proposals will bring built form forward in this view but will be seen as in context with the settlement edge of Barrowby, properties off Low Road and The Drift and new development within Phase 1, which is visible above the existing hedgeline to the north. Existing features of the visual landscape such as the southern vegetated boundary will largely remain and will be enhanced with infill planting. As vegetation within the easement buffer zone matures along the southern boundary of the site it will mitigate and reduce any potential impacts.
- Residents of Low Road to the south west will experience the greatest impact due to their proximity to the site. Built form will be brought forward in views but will only be experienced above existing retained boundary vegetation along the southern boundary of the application site or from first floor windows. This will not be seen as out of context with existing housing development and will be in keeping with the built form currently experienced above the hedgeline within the Phase 1 development. Majority of the boundary visual landscape features such as boundary vegetation will be retained and enhanced where possible. A small section of the existing boundary vegetation on the southern boundary, west of Charnwood Close will require removal to facilitate a new vehicle access into the application site; this, however, is only for a short section along the southern boundary.

- Overall, the effects from the proposed development, which is set on the southern settlement edge of Barrowby are experienced by a limited number of sensitive visual receptors. There are some particularly sensitive visual receptors, in very limited locations who, at worst, will experience a high to medium degree of change during the construction period, but upon completion of the works and as the proposed planting within the buffer zone along the southern boundary matures any potential impacts will be reduced.

7.7.14 As referenced above, the site allocation principles requires the scheme to include high quality design and landscaping to minimise the potential landscape impact of the development. In this respect, the LVIA has also been accompanied by a Landscape Masterplan, which includes the following measures:

- A large proportion of the existing boundary hedgerows and hedgerow trees will be retained; a short section of hedgerow to the west along the southern boundary off Low Road will be removed to facilitate a new vehicular access. The original field access off Low Road to the east will be retained and widened to form a second vehicular access point off Low Road.
- The existing hedgerow along the southern boundary will be enhanced to form a strong green corridor and landscape buffer zone. Planting within the 12m gas main easement is to be in accordance with species and planting off-set guidance as set out in National Grid's Notes for Guidance. The existing boundary vegetation will be enhanced with new mixed native tree and shrub planting and infill planting where required within the existing hedgerow with species found within the local surrounding area.
- The existing northern boundary forms the boundary between Phase 1 and Phase 2 development parcels and will be retained as a green corridor. The hedgerow will be enhanced where required with infill planting of mixed native species found within the surrounding area.
- Proposed tree lined streets with grass verges and a mix of native and property boundary hedgerows will form green routes through the proposed development connecting into the Phase 2 parcel to the north. Existing pedestrian and cycle links between Reedings Road to the north and Low Road to the south will be maintained and enhanced.
- A central area of POS is proposed connecting the Phase 2 parcel to the north and the application site to the south. The area will comprise of mixed native tree and shrub planting, ornamental shrub planting, open areas of grassland, wildflower and bulb planting.
- An extensive landscape buffer zone and POS areas will be incorporated on the eastern boundary and to the south-eastern corner of the application site. The landscape buffer of mixed native tree, shrub and hedgerow planting will run north-south along the eastern boundary between the application site and the arable field to the east. The POS areas will include mixed native tree and shrub planting, ornamental shrub planting, open grassland, wildflower areas, bulb planting, and SuDS feature such as an attenuation basin.

7.7.15 It is the Case Officers assessment that the proposed landscaping strategy, would provide a variety of open spaces throughout the site, each which provide a varied function and planting

strategy. The retention of the existing landscaping features, together with the proposed new planting, would assist in softening the landscape and visual impact of the development. Conditions are proposed to require the submission of detailed Soft Landscaping Plans, which will include species types, and densities, together with the submission of a Landscape and Ecological Management Plan to ensure that these open spaces are appropriately managed. In addition, conditions are proposed to require the timely implementation of the soft landscaping scheme, and compliance with the Arboricultural Impact Assessment relating to the protection of the existing landscaping during the course of the construction period.

7.7.16 With regards to the proposed community land, this part of the application has been submitted in outline and, as such, matters of detailed design relating to the scale and appearance of the village hall, would be determined as part of a future reserved matters application. However, as a matter of principle, the proposed community use land occupies an area of 0.28 hectares and it is Officers' assessment that the site provides an appropriate level of space to accommodate a community use building together with any necessary parking. The proposed location of the community use land would ensure that it is accessible to existing and future residents of the village, and also provides the opportunity to create a hub of community uses alongside the neighbouring Scouts and Guides hut, the Sports Club located on the opposite side of Low Road, and the Co-Op foodstore in the north-west corner of the allocation site.

7.7.17 Taking the above into account, it is Officers' assessment that the application proposals would provide an acceptable appearance, layout, landscaping and scale which would ensure that the development scheme integrates positively with the character and appearance of the surrounding built form. Consequently, it is Officers' position that the application scheme would accord with Policy LV-H3, DE1 and EN1 of the adopted South Kesteven Local Plan, the adopted Design Guidelines SPD, and Section 12 of the National Planning Policy Framework; although appropriate conditions are attached to ensure that the scheme delivers on the intended design quality.

## 7.8 **Impact on residential amenity**

7.8.1 With regards to the impact of the proposed development on residential amenity, it is noted that no public representations have raised objections on these matters.

7.8.2 Notwithstanding the above, in assessing the application proposals against the standards set out within the adopted Design Guidelines SPD, it is Officers' assessment that the proposed site layout, coupled with the scale of the dwellings proposed, would provide adequate separate distances between the existing dwellings to the north and south, as well as the proposed dwellings of the Permission Homes development to the north, to ensure that the application scheme does not result in any unacceptable adverse impacts in respect of loss of privacy, overshadowing and outlook. In particular, it is appreciated that the current application scheme provides a perimeter block layout, in which dwellings are set back from the boundary of the site to the rear of green corridors that run adjacent to the well-established hedgerows that surround the site. It is Officers' assessment that this arrangement would ensure that the proposed development would not have any adverse impacts on neighbouring residential amenity.

7.8.3 In respect of the impacts of construction activities on the amenity of existing residential properties, it is appreciated that the application site is located within a residential setting and, therefore, there is the potential for short-term impacts on the residential amenity of

existing properties as a result of noise, dust and vehicle movements associated with the construction of the proposed scheme. In view of the above, conditions are proposed to require the submission and approval of a Construction Management Plan prior to the commencement of development, in order to mitigate these potential impacts.

- 7.8.4 With regards to the amenity of future occupants of the site, it is Officers' assessment that the proposed layout would provide adequate private amenity space for each dwelling, and would also include appropriate areas of public open space.
- 7.8.5 Furthermore, it is appreciated that the application scheme also seeks outline planning permission for the proposed use of land on the western boundary of the site for community use. In this respect, detailed matters of design relating to the scale of the building, and therefore, the prospective impact on the privacy and overshadowing of neighbouring properties falls to be assessed as part of a future reserved matters application. However, it is Officers' assessment that, as a matter of principle, the community use land is sufficient sized to allow it to accommodate a well-designed and appropriately scaled building that would not result in any adverse impacts on privacy and outlook.
- 7.8.6 Similarly, it is also appreciated that details relating to the future use and operation of the community hall are not yet known. In particular, it is noted that there are a number of site options that are currently being considered by the Parish Council before progressing with any detailed operational assessments. In this respect, it is noted that noise generated by the proposed operation of the community building will need to be appropriately managed to ensure that it does not result in any unacceptable adverse impacts on the existing and proposed residential dwellings. As such, conditions are proposed to require the submission of a detailed Noise Management Plan, including hours of operation, as part of the submission of the first reserved matters application for the community use land. Subject to these conditions, it is Officers assessment that the proposed community use building would not result in any unacceptable adverse impacts on neighbouring amenity.
- 7.8.7 It is also acknowledged that the allocation site development principles recognises the potential amenity impacts arising from the site's proximity to electricity pylons and the A1 to the east, and the high pressure gas line to the south of the site. In particular, the allocation requires the masterplan and detailed development proposals to provide suitable and appropriate residential amenity buffers to the eastern and southern edge of the allocation site.
- 7.8.8 As detailed above, the Proposed Site Layout includes areas of public open space along the perimeter of the site, including along the eastern and southern boundary of the site. The eastern area of open space is proposed to include a surfaced pedestrian loop, SuDS attenuation features, and native species planting; whilst the southern boundary is to include a soft landscaping buffer of 12m which corresponds with the gas pipeline easement. It is Officers' assessment that the proposed masterplan and detailed development proposals comply with the allocation requirements in this respect.
- 7.8.9 Furthermore, the application submission has also been accompanied by a Noise Assessment (M-EC) (Dated July 2023), which identifies the following:
- Due to the good acoustic design features that exist throughout the Site, the majority of the external living areas demonstrate compliance with external acoustic criteria without any additional mitigation measures.

- However, for some of the most exposed garden that have a line of sight of the A1, 2.5m high close boarded fencing will be required along the garden boundaries. The fencing locations are identified in Appendix D of the report.
- It should be noted that with the inclusion of the mitigation, all garden areas provide an external amenity space that meets the relevant criteria and where there are negligible areas of exceedances, they are noted to be within 1dB and therefore are not considered to be significant.
- Embedded façade mitigation measures have been suggested in order to achieve internal criteria in line with BS8233 and ProPG. For the majority of the site, standard double glazing and direct airpath trickle vents are permissible. However, for a small number of plots along the southern front of the site, increased acoustic glazing and acoustic rated through wall trickle ventilators will be required.

7.8.10 The Council's Environmental Protection Team have been consulted on the submitted details and have confirmed that they have no objections, subject to the inclusion of conditions. Specifically, they have stated that they accept the findings of the Noise Impact Assessment, and require the recommendations to be implemented. In this regard, they have requested conditions to require the submission of a detailed noise mitigation scheme, and noise verification testing. These conditions are proposed to be required as prior to development above damp-proof course, and prior to occupation, respectively.

7.8.11 Taking the above into account, subject to the imposition of conditions, it is Officers' assessment that the application proposals would not have any unacceptable adverse impacts on the amenity of neighbouring properties and would provide an appropriate level of amenity for future occupants. As such, the application would accord with Policy LV-H3, DE1 and EN4 of the adopted Local Plan, and Section 12 of the National Planning Policy Framework, in respect of residential amenity considerations.

## 7.9 **Access and Highways Impacts**

7.9.1 It is noted that public representations received on the application have raised objections in relation to the impact of the proposed development on highways safety and highways capacity. In particular, it has been stated that the existing local highways network is at capacity, and therefore, cannot accommodate the increase in traffic associated with the application proposals. In addition, it has been stated that the proposed development scheme would result in an adverse impact on highways safety due to an increased likelihood of drivers taking unsafe manoeuvres as a result of increased queueing times.

7.9.2 Lincolnshire County Council (as Local Highways Authority) have been consulted on the application proposals and have confirmed that they have no objections, subject to the imposition of conditions, and financial contributions towards off-site active travel improvements, which are to be secured through a Section 106 Agreement.

7.9.3 In assessing the submitted scheme, LCC Highways have confirmed that they are content that the proposed development would not give rise to any severe impacts on the local highways network in terms of highways capacity and / or safety. Furthermore, they have also confirmed that the quantum of off-street parking included within the development would be in accordance with their guidance, and that they consider the submitted site layout to be consistent with the principles of the previously approved Comprehensive Masterplan.

7.9.4 As alluded to above, the Local Highways Authority have requested financial contributions towards active travel improvements to ensure that the scheme appropriately encourages

travel by sustainable modes of transport, in accordance with the requirements of the NPPF. In particular this includes a financial contribution of £255,132 towards the cost of delivering initiatives set out within the Grantham Cycling and Walking Network Plan; as well as up to £171,000 to cover the cost of providing a free year-long bus pass to each dwelling.

- 7.9.5 At the time of writing, it is Officers' assessment that there is currently insufficient evidence to demonstrate that the requested financial contributions would meet the legal tests set out in the CIL Regulations and National Planning Policy Framework. In particular, it is unclear whether the requested contributions would be proportionate to the quantum of development proposed, and that they would be used for schemes which are directly related to the development. In this respect, it is understood that the contributions towards cycling and walking improvements are intended to be used to provide a shared footway and cycleway along the length of Low Road to connect the site to the western edge of Grantham; and the cost of this scheme has been split pro-rata between the Developers of the allocation site. However, clarification has been sought from LCC Highways and this will be reported through the late items paper.
- 7.9.6 Conditions are also proposed to require the provision of an improved bus stop on Low Road, the estate roads and footways to be completed to finished surface levels in accordance with a phasing plan, and compliance with the submitted Travel Plan.
- 7.9.7 In connection with the above, as of 1 June 2023, Active Travel England are now a statutory consultee on all planning applications for developments of more than 150 dwellings and, therefore, have been consulted on the application proposals. At the time of writing, they have requested deferral of the determination of the application, pending the receipt of further information. Specifically, they have requested the submission of further details relating to the anticipated trip generation from the site, as well as further details for a programme of off-site improvements to active travel routes. In this respect, it is Officers' assessment that the proposed package of financial contributions to off-site active improvements requested by the Local Highways Authority, would fulfil the requirements of Active Travel England for a scheme of improvements to active travel routes. Furthermore, the request for the submission of an updated Travel Plan, including details of the trip generation for the scheme, are capable of being covered by planning conditions. As such, it is proposed to include these details as a pre-commencement condition.
- 7.9.8 Furthermore, in view of the proximity of the site to the strategic highways network, National Highways have been consulted on the application. As part of their response, they have confirmed that they have no objections subject to conditions. In particular, they have stated that the application scheme would not result in any unacceptable adverse impacts on the A1 / A52 junctions.
- 7.9.9 Taking all of the above into account, subject to the imposition of conditions and Section 106 contributions it is concluded that the site benefits from a location that would allow future occupants to travel to / from the site via sustainable modes of transport. The application proposals would not give rise to any unacceptable adverse impacts on highways safety and / or capacity, and would provide an appropriate level of parking provision. As such, the application proposals are assessed as being in accordance with Policy ID2 of the adopted Local Plan and Section 9 of the Framework.
- 7.10 **Flood Risk and Drainage**
- 7.10.1 In respect of flood risk and drainage matters, it is noted that there have been no public representations received in relation to these matters. Nonetheless, it is appreciated that the

site allocation policy requires consideration of the availability of waste water treatment capacity; and whilst the site is located within Flood Zone 1 of the Flood Map for Planning, it also includes areas of higher risk of surface water flooding along the eastern boundary.

- 7.10.2 As detailed above, the application proposals have been the subject of extensive discussions through the Council's Design PAD process, which has involved participation from the Lead Local Flood Authority (LLFA); this has resulted in the inclusion of additional swales as part of the primary street network. Surface water will be managed through the network of swales which will drain into an attenuation pond positioned in the south-eastern corner of the site; which will subsequently outfall to an existing watercourse to the east of the site at a controlled rate. Foul water drainage is proposed to be collected via a piped network positioned beneath the proposed streets, and will then be pumped to the existing Anglian Water network on Low Road.
- 7.10.3 Lincolnshire County Council (as Lead Local Flood Authority) have provided formal comments on the application scheme and have confirmed that, whilst the submitted drainage strategy does not provide the most appropriate forms of SuDS drainage, the principles of the drainage scheme are broadly acceptable and the concerns raised can be address through planning conditions. Conditions are proposed to require the submission of a detailed surface water drainage plan, which will also be subject to a separate technical approval process with Lincolnshire County Council; this condition is to be required as a pre-commencement condition. In addition, conditions are also proposed to require the completion of a priority culvert risk assessment for the culver under the A1; this is to ensure that the proposed point of outfall into the nearby watercourse does not result in any unacceptable risk of flooding on the strategic highway network, this condition is also required as a pre-commencement condition. In this respect, it is noted that National Highways have also requested the imposition of conditions requiring the completion of a culvert risk assessment, and where necessary, the implementation of a scheme of mitigation.
- 7.10.4 In respect of the capacity of the waste water treatment facilities, Anglian Water have been consulted on the application and have confirmed that there is sufficient existing capacity at the Marston Waste Water Treatment Centre to accommodate the development. As such, there is no requirement to include conditions for the phasing of the development to allow for capacity at the treatment works to be increased.
- 7.10.5 Taking to the above into account, subject to the imposition of conditions, the application proposals would accord with Policy LV-H3 and EN5 of the adopted South Kesteven Local Plan, and Section 14 of the Framework in relation to flood risk and drainage.
- 7.11 **Biodiversity and Ecology**
- 7.11.1 It is noted that no public representations have been received in relation to the impact of the development on ecological assets or local biodiversity. Notwithstanding this, it is appreciated that the site allocation policy requires the development to provide net gains in biodiversity on site and to contribute to wider ecological networks where possible.
- 7.11.2 In relation to the above, the approved masterplan for the site sets out the following in relation to biodiversity and ecology:

- *There is a commitment for the development to provide net gains in biodiversity on site and contribute to wider ecological networks. It will be up to each applicant to*

*demonstrate contributions where possible through incorporation of the following measures:*

- *Retention of existing hedgerows and trees on site which are the main focus of the ecological interest / corridors;*
- *Creation of new ecological corridors running north to south between Persimmon Homes and Allison Homes;*
- *Extensive areas of structural native planting on the southern and eastern boundaries of the allocation, species to be chosen to enhance the ecological value of the site;*
- *Use of wildflower grass seed mix;*
- *Attenuation areas to be planting with natural features such as reeds to enhance the ecological value of the site; and*
- *The use of bats and bird boxes on dwellings and trees.*

7.11.3 The application has been accompanied by an Ecological Impact Assessment (BWB) (Dated January 2023), which outlines the following:

- No direct or indirect impacts to any designated wildlife sites are envisaged due to their distance from the site, as all are over 1km from the site, and due to the nature of the proposals.
- All of the habitats within the site will be lost to facilitate development with the exception of the boundary hedgerows and mature trees, which will be protected as a matter of good practice. The loss of arable land, scrub and ruderal is not considered to be ecologically significant. They are common in the wider area and do not support any rare or notable botanical species, nor would they qualify as habitats of principle importance.
- Although the site boundary habitats may be used by small numbers of common foraging bat species, the adjacent habitats are likely to represent a higher value foraging and commuting habitat. The loss of the habitats within the site and the retention of the boundary habitats is not therefore considered to result in any significant adverse effects on bats.
- A specific Biodiversity Enhancement and Mitigation Plan should be produced for the proposed development. The BEMP is recommended to detail measures by which to protect retained habitats, enhance and create habitats, provide an overview of habitat management as well as details of species specific enhancements.
- Bat and bird boxes should be installed on 20% of new buildings.
- To provide new habitats for hedgehogs and other species, it is recommended that a hedgehog friendly layout is achieved through the following provisions:
  - Shrub planting along the edges / boundaries of the development to provide connectivity for hedgehogs and other species through and around the site to wider habitats.
  - Creation of a hedgehog highway.
  - Brush and log poles to be provided in landscaped areas to provide refuge and hibernation habitats for hedgehogs and other species.

- 7.11.4 In relation to the above, Lincolnshire Wildlife Trust have been consulted on the application and it is noted that they have registered a holding objection. In particular, they have requested the submission of a Biodiversity Enhancement and Mitigation Plan, and a Biodiversity Net Gain assessment.
- 7.11.5 The Applicant has subsequently submitted a Biodiversity Net Gain Assessment, which takes into account the results of the initial site survey as well as the proposed post-development state of the site, which has been informed by the Landscape Masterplan. As indicated above, this submitted BNG Assessment has demonstrated that the proposed site would achieve a 0.01 net gain in habitat units and a 1.32 net gain in hedgerow units.
- 7.11.6 In relation to the above, whilst Lincolnshire Wildlife Trust have requested a 10% net gain in biodiversity, and a requirement for the Habitat Management and Monitoring Plan to be provided for a 30 year period, these are requirements of the Environment Act 2021. The current application was submitted in advance of the statutory BNG obligations for major planning applications coming into effect. As such, whilst the proposed development falls to be assessed against the site allocation policy and Policy EN2 of the Local Plan, which require the scheme to achieve an on-site net gain, there is no policy basis for the site to be required to achieve a minimum 10% net gain or provide a Habitat Management and Monitoring Plan for a 30-year period.
- 7.11.7 In this context, it is Officers' assessment that the application scheme would achieve a net gain as required by Policy LV-H3 and EN2 of the adopted Local Plan.
- 7.11.8 Conditions are proposed to require the development to be carried out in accordance with the submitted Biodiversity Enhancement and Mitigation Plan, which has been based on the recommendations details above. In addition, conditions are also proposed to require the submission of a Landscape and Ecological Management Plan to ensure the appropriate measures are implemented for the establishment of the detailed soft landscaping scheme.
- 7.11.9 In respect of the impact of the development on the existing boundary hedgerows and trees, the application submission has been accompanied by an Arboricultural Report and Impact Assessment (AWA Tree Consultants) (Dated July 2023), which identifies the following:
- The tree survey revealed 28 items of woody vegetation, comprised of 19 individual trees and 9 tree groups or hedges. Of the surveyed trees: 1 tree group is category U, 6 trees are category B, and 21 trees and hedges are category C.
  - Much of the tree cover at the site consists of large stretches of hedgerow dotted with the occasional early mature tree of a mix of species.
  - Dominant species at the site include Ash and Sycamore, with the occasional Oak, Cherry, Rowan and Hawthorn.
  - 1 tree will require removal to facilitate the development and 4 tree groups will require partial removal to facilitate the development as they are situated in the footprint of the development. The tree to be remove is an early mature individual of moderate amenity value. It is Category B and its removal will have some negative arboricultural impact; however, the retention of protection of the other larger Category B trees at the site, and the opportunity for additional planting, will mitigate its removal in the long term.
  - The tree groups that are to be partially removed are all lower value Category C groups that form hedgerow borders to the site. Partial removal is required where

access is proposed along the new development, and most of the group will be retained alongside the development and provide screening from adjacent properties and roads.

- 7.11.10 As detailed above, the proposed Landscaping Masterplan includes the planting of additional native species as part of the proposed soft landscaping, which will assist in mitigating the minor arboricultural losses to facilitate the development. Conditions are proposed to require the submission of a detailed soft landscaping plan, which will include details of the proposed species to be used and planting arrangements, to ensure the future establishment and retention of the newly planted species.
- 7.11.11 In addition, the submitted Arboricultural Method Statement sets out the details of the proposed Tree Protection Plan which is to be implemented during the course of the construction activities. Conditions are proposed to require the implementation of the scheme of protection prior to the commencement of development, and for it to be retained until all works on site have been completed.
- 7.11.12 Taking the above into account, it is Officers' assessment that subject to the imposition of conditions, the proposed development would result in a minor biodiversity net gain, and would not result in any unacceptable ecology or arboricultural impacts. As such, the application scheme would be in accordance with Policy LV-H3 and EN2 of the adopted Local Plan, and Section 15 of the National Planning Policy Framework.

## 7.12 **Climate Change**

- 7.12.1 It is noted that representations received from members of the public have stated that all dwellings should be required to include solar panels, EV charging points and state of the art heating systems.
- 7.12.2 In this regard, it should be noted that the adopted Local Plan does not set out a policy requirement for all dwellings to be fitted with electric vehicle charging points, and solar panels; instead, the requirement is for developments to maximise the use of renewable and low carbon energy generation systems, and support low carbon travel. The policy wording is reflective of the principle of reducing carbon emissions through development, but recognises that there are multiple options for achieving this target without specifically requiring the installation of solar panels etc.
- 7.12.3 In the context of the above, it is appreciated that the Applicant has not submitted a Sustainability Statement for the scheme, and therefore, has not demonstrated how the proposed development would comply with the requirements of Policy SB1 of the adopted Local Plan. However, it is Officers' assessment that this can be appropriately addressed through the imposition of conditions requiring the submission of details to demonstrate compliance with Policy SB1; these details are proposed to be required prior to development above damp proof course.
- 7.12.4 Therefore, subject to the imposition of conditions securing further details of sustainable building measures, the proposal would represent sustainable development when taken as a whole and, therefore, would accord with the requirements of Policy SB1 and SD1 of the adopted Local Plan.

## 7.13 **Open Space Provision**

- 7.13.1 As detailed above, the Local Plan site allocation requires the development to be carried out in accordance with the approved masterplan to ensure that the allocation site is delivered in

a comprehensive and co-ordinated manner; this includes an agreed approach to the delivery of formal and informal public open space as part of the development site. The development proposals also fall to be assessed against the policy requirements of Policy OS1 of the adopted Local Plan, which sets out the standards of open space to be delivered as part of future development schemes.

- 7.13.2 In respect of the above, as previously referenced, it is Officers' assessment that the current application scheme accords with the approved masterplan in most respects, in particular areas of public open space have been provided on the eastern and southern boundaries of the site and green corridors have been provided east-west and north-south to provide appropriate connectivity through the allocation site.
- 7.13.3 However, it is noted that there is a clear conflict with the approved masterplan insofar as it shows the primary area of public open space within the application site being provided centrally within the site, with the additional area of open space located along the eastern boundary. However, the current application proposes the primary area of open space is provided immediately adjacent to the northern boundary of the site, so that it aligns with the proposed open space to be provided as part of the Persimmon Homes application. With regards to this, it is Officers' assessment that the provision of a single, centralised open space within the allocation site would provide a betterment to the overall development scheme and therefore is acceptable.
- 7.13.4 In respect of the type and quantum of open space to be provided as part of the application proposals, the submitted Land Use Plan demonstrates that 2.34 hectares of informal and formal public open space is to be provided throughout the development site; this includes the provision of informal areas of open space along the eastern boundary, which will include a surfaced footpath to enable a circular walking route around the site, as well as the provision of green corridors along the northern and southern boundary. The centralised area of public open space will include a formal children's equipped play area, and will connect with the central area of open space within the Persimmon application to the north to provide a centralised focal point for the allocation.
- 7.13.5 It is Officers' assessment that the proposed on-site open space would meet the requirements for informal open space and young person's play space identified within Policy OS1 of the adopted Local Plan. This on-site open space would be secured through the Section 106 Agreement.
- 7.13.6 In respect of the requirements for outdoor sports provision, it is noted that there are no proposals for the provision of such facilities within the application site. As such, appropriate financial contributions will be required towards improving existing facilities within the village to mitigate against the impacts generated by the additional population resulting from the development. In this case, a financial contribution of £123,759.32 would be proportionate for the scale of development proposed.
- 7.13.7 In relation to this, it is noted that Barrowby Parish Council have submitted a Statement (Dated 10<sup>th</sup> January 2024), which outlines request for Section 106 contributions towards improving existing leisure facilities and play equipment, as well as upgrading existing sports facilities. The schemes identified are as follows:
- Expansion of the car park at the Sports Pavilion on Low Field to remove cars from parking on Low Road.

- Existing play equipment for infants at the Adamstiles site needs refurbishment and additional equipment added.
- The play equipment on the Village Green (Stephen's Gutter) will also require additional investment in order to accommodate the expected increase in use. A contribution towards these costs and eventual equipment replacement should be considered.
- Remodelling of the current Sports Pavilion to provide a better range of facilities.
- Provision of a full size 4G pitch on Low Field to provide all weather training / playing facilities alongside options such as tennis, netball / basketball and an all-weather trim trail.

7.13.8 With regards to the above, as outlined, the application proposals include sufficient on-site provision of children's play equipment to mitigate the impacts of the development and, therefore, it is not considered necessary for the developer to provide a further financial contribution towards improving the existing play equipment elsewhere in the village. However, financial contributions are required towards off-site sports provision, and these contributions could be used by the Parish Council towards the proposed remodelling of the sports pavilion and / or the provision of a 4G pitch at Low Field.

7.13.9 In terms of the management of the on-site open space, it is anticipated that this would be undertaken via a private management company. However, conditions are proposed to require the submission of a Landscape and Ecological Management Plan, and the details submitted pursuant to this condition would be required to confirm the long-term management arrangements.

7.13.10 Taking the above into account, subject to the imposition of conditions and the completion of a Section 106 Agreement, the application scheme would provide sufficient open space to meet the needs of the development, as required by Policy LV-H3 and OS1 of the adopted Local Plan, and Section 8 of the National Planning Policy Framework.

#### 7.14 **Pollution Control**

7.14.1 The application has been accompanied by a Phase II Geo-Environmental Assessment (EPS) (Dated March 2024), which identifies the following key conclusions:

- A previous Phase 1 Desk Study identified no potential contamination risks, however, it was noted that basic Radon protection measures would be required in future developments.
- No physical signs of contamination were encountered in the field, which was supported by the findings of the laboratory testing, and it has been concluded that no unacceptable risks have been identified based on the information currently available.

7.14.2 The Council's Environmental Protection Team have been consulted on the application proposals and have confirmed that they have accept the conclusions of the Geo-Environmental Assessment. As such, they have confirmed that they have no objections to the application, subject to the imposition of conditions requiring works to stop, and further investigation and remediation undertaken, in the event that any previously unexpected contamination is identified during the course of the development.

7.14.3 In respect of the impact of the development on air quality, the application site does not fall within the Air Quality Management Area for Grantham; however, it is appreciated that the site is located within proximity of the A1 strategic highway network.

7.14.4 With regards to this, the application has been accompanied by an Air Quality Assessment (BWB) (Dated July 2023), which identifies the following conclusions:

- A qualitative construction phase assessment was undertaken and measures were recommended to minimise emissions during construction activities. With the implementation of these mitigation measures, the impact of construction phase activities is considered to be “not significant”.
- A detailed road traffic emissions assessment was undertaken to consider the impact of development generated road traffic on local air quality at identified existing receptor locations. The development was not predicted to result in any new exceedances of the current relevant air quality objectives, and the impact of the development on local air quality was predicted to be “negligible”.
- Pollutant concentrations were predicted across the development site. Concentrations of NO<sub>2</sub>, PM<sub>10</sub> and PM<sub>2.5</sub> were all predicted to be below the current relevant air quality objectives and therefore, the site was considered to be suitable for the proposed residential use.

7.14.5 In relation to the above, the Council’s Environmental Protection Officer has not raised any objections in relation to air quality impacts arising from the development. As such, it is concluded that the proposed development scheme would not result in any unacceptable adverse impacts on air quality.

7.14.6 Taking the above into account, it is concluded that subject to the imposition of conditions, the proposed development would not give rise to any unacceptable risks of ground contamination, or air, noise or odour pollution. As such, the application proposals would accord with Policy EN4 of the adopted Local Plan and Section 15 of the Framework on these matters.

## 7.15 **Impact on archaeological assets**

7.15.1 With regards to the impact of the development on archaeology, the application submission has been accompanied by a Desk Based Heritage Assessment (RPS) (Dated November 2022), which sets out the results of the programme of archaeological evaluation undertaken to date on the site.

7.15.2 Heritage Lincolnshire (as Local Archaeological Advisors) have been consulted on the submitted details and have confirmed that the site offers the potential for archaeological remains to be present. Therefore, further investigation is required, which should include a programme of trial trenching. These works are proposed to be secured via pre-commencement conditions.

7.15.3 Therefore, subject to the imposition of conditions, the application proposals would not have any unacceptable adverse impacts on any below ground archaeological assets. As such, the proposals would be in accordance with Policy EN6 of the Local Plan and Section 16 of the Framework.

## 7.16 **Infrastructure for Growth**

- 7.16.1 As previously discussed, it is appreciated that the site allocation policy requires the phasing of the development to occur in accordance with the Infrastructure Delivery Plan, with particular consideration to education capacity at Barrowby Primary School.
- 7.16.2 In this respect, Lincolnshire County Council (as Local Education Authority) have been consulted on the application, and they have confirmed that there is sufficient capacity within primary, secondary and sixth form education to accommodate the development. As such, they have not requested any mitigation as part of the development.
- 7.16.3 Lincolnshire Integrated Care Board (LICB) have been consulted on the application and have confirmed that the development will impact on healthcare capacity within the local area. As such, they have requested financial contributions towards expanding healthcare provision within the primary care network.
- 7.16.4 Furthermore, Lincolnshire County Council (as Local Highways Authority) have requested financial contributions towards providing free bus passes to future occupants of the site, as well as financial contributions towards schemes included within the Grantham Walking and Cycling Strategy. As outlined above, at the time of writing, there is currently insufficient evidence to demonstrate that the requested contributions will meet the statutory CIL Regulations. In particular, the information provided as part of the LHA's comments does not sufficiently demonstrate that the requested contributions are proportionate to the quantum of development proposed, and necessary to make the development acceptable in planning terms. Therefore, at the time of writing, these contributions are not included within the proposed heads of terms. In the event that further evidence is forthcoming from LCC Highways, this will be reviewed as part of the late items paper.
- 7.16.5 In respect of the proposed community facility land, it is appreciated that representations received from Barrowby Parish Council have confirmed that a new community hall is required to accommodate the growth in population as a result of the development of the allocation site. However, the preferred location for the new community hall has not been agreed, and the Parish Council are currently exploring a number of sites; this includes the site identified as part of the current application, but also includes the former British Legion site located further north on Low Road.
- 7.16.6 In view of the above, it is Officers' assessment that it is appropriate for both developers of the allocation site to provide a proportionate financial contribution towards the development of a new community facility. In the case of the current application site, the required financial contribution would be £184,884.35.
- 7.16.7 In the case of the proposed community hall land as part of the current application, it is proposed that, in the event that the Parish Council decide that the application site is the preferred location for the new community hall, the developer will be required to transfer the land as a serviced site to the Parish Council for a nominal fee (usually to be £1). In that situation, the financial contribution payable by the Developer would be reduced by the value of the serviced site; this would be determined through an independent land valuation at the point of transfer. It is proposed that a 5 year time period would be permitted for the Parish Council to request the land is transferred for the development of the new community hall, and in the event that the land has not been requested, or the Parish Council commence development of a village hall on an alternative site, the obligation to service the site would cease and the land would remain within the ownership of the Applicant.

7.16.8 Taking the above into account, the application proposals are for a major residential development and would result in the need for Section 106 contributions as follows:

- **Open Space** – on site provision as per the approved plans and £123,759.23 towards improving existing sports facilities within Barrowby.
- **Affordable Housing** – 30% of all dwellings on site consisting of:
  - Affordable Rent = 37 dwellings
  - Shared Ownership = 2 dwellings
  - First Homes = 14 dwellings

Dwellings are to be provided in accordance with an Affordable Housing Scheme, which will set out details of the distribution of affordable housing within the application site. The Nominations Agreements will also be secured as part of the Section 106 Agreement.

- **Healthcare** - £115,500.00 towards expanding healthcare capacity in the Primary Care Network.
- **Community Facility** - £184,884.35 towards the cost of delivering a new community hall. In the event that the Parish Council elect to place the new community hall on the land identified within the current application, the financial contribution will be reduced by the value of providing the serviced site. The Parish Council will have 5 years to request transfer of the land; in the event that this time period elapses, or the Parish Council commence development of the community hall on an alternative site, the obligation to transfer the land within the application site will cease and the land will remain with the landowner.
- **Monitoring Fee** - £15,000.00

7.16.9 As such, in the event that the application was deemed to be acceptable in all other respects, the above financial contributions would ensure that local infrastructure is appropriately upgraded to cope with the additional population generated by the development. As such, it is concluded that these financial requests are compliant with the statutory tests of the CIL regulations, as well as local and national planning policy requirements.

7.16.10 Therefore, subject to the completion of a Section 106 Agreement, the application proposals would accord with Policy LV-H3, ID1, and H2 of the adopted South Kesteven Local Plan.

## **8 Crime and Disorder**

8.1 It is concluded that the proposals would not result in any significant crime and disorder implications.

## **9 Human Rights Implications**

9.1 Article 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is concluded that no relevant Article of the Act will be breached in making this decision.

## **10 Planning Balance and Conclusions**

10.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise.

- 10.2 The current application is a hybrid planning application which seeks full planning permission for the erection of 175 dwellings with associated access, infrastructure, open space and landscaping; and outline planning permission (with all matters reserved) for the erection of a community facility (Use Class F2b).
- 10.3 As identified, the proposed development site forms part of Local Plan allocation LV-H3, which is identified within the adopted Local Plan for up to 270 new dwellings at a maximum density of 35 dwellings per hectare. As such, the principle of residential development on the application site has been established by the site's allocation within the adopted Local Plan, and is acceptable in principle, subject to material considerations.
- 10.4 In this respect, it is appreciated that the Local Plan allocation is for non-residential uses only, and does not include any mention of non-residential uses on the site. Similarly, the approved masterplan document does not include any reference to non-residential uses on the allocation site. As such, the proposed community facility would be a conflict with the Local Plan allocation policy.
- 10.5 Notwithstanding this, it is noted that the provision of a community facility on site would not impact on the ability of the wider allocation site to deliver the identify quantum of development, and also does not inhibit the ability to comply with the other allocation policies. Furthermore, Policy SP6 of the adopted Local Plan supports the provision of new community facilities, and similarly, it is noted that the proposed community facility is required to mitigate the impacts of the current development; in such circumstances, Policy ID1 of the Local Plan seeks to prioritise direct, on-site provision of mitigation measures. As such, it is Officers' assessment that whilst there is a conflict with the allocation policy, the weight to be attributed to this conflict would be minimal, and would be outweighed by the support provided by Policy ID1 and SP6 of the adopted Local Plan.
- 10.6 The application scheme would deliver 175 dwellings, including 30% affordable housing, which would make a substantial contribution towards the Council's five year housing land supply, and would assist in meeting the acute need for affordable housing within the District. The provision of this additional housing is a significant benefit, which Officers' would attribute substantial weight.
- 10.7 In respect of the design and visual impacts of the development, the application scheme has been subject of revision following extensive engagement with the Council's Design PAD services, and this has resulted in a development proposal which is of high-quality and performs positively against Building for a Healthy Life. The proposals are an appropriate layout, appearance, landscaping and scale which would conform with the requirements of the approved masterplan, and the site allocation principles. Furthermore, having regard to the proposed scheme, and the relationship with existing residential properties, the development would not give rise to any unacceptable adverse impacts.
- 10.8 In addition, subject to the imposition of conditions and Section 106 contributions, the application scheme would accord with the adopted Development Plan in respect of all technical material considerations. The necessary planning obligations to be secured through a Section 106 Agreement would ensure that local infrastructure is appropriately upgraded to cope with the additional population generated by the development.
- 10.9 Similarly, it is Officers' assessment that, as a matter of principle, the proposed community facility land could accommodate an appropriately sized and designed community hall without giving rise to any unacceptable adverse impacts on the relevant material

considerations. Conditions are proposed to require the submission of further technical evidence as part of the first reserved matters application for the site.

- 10.10 Taking all of the above into account, it is Officers' assessment that the application proposals would accord with the adopted Development Plan when taken as a whole, and the material considerations in this case, also indicate that planning permission should be granted; although appropriate conditions are recommended.

## **11 Recommendation**

### **Recommendation – Part 1**

- 11.1 To authorise the Assistant Director – Planning to GRANT planning permission, subject to the completion of a Section 106 Agreement securing the necessary financial contributions set out within the report above, and subject to the proposed schedule of conditions detailed below.

### **Recommendation – Part 2**

- 11.2 Where the Section 106 Agreement has not been concluded prior to the Committee, a period not exceeding twelve weeks after the date of the Committee shall be set for the completion of the obligation.
- 11.3 In the event that the agreement has not been concluded within the twelve week period and where, in the opinion of the Assistant Director – Planning, there are no extenuating circumstances which would justify a further extension of time, the related planning application shall be refused for the following reason(s):
1. The applicant has failed to enter into a planning obligation to secure the required level of affordable housing, as well as necessary financial contributions to healthcare, open space and community facilities are required by Policy ID1, H2 and OS1 of the adopted South Kesteven Local Plan 2011-2036.

## **Schedule of Condition(s)**

### **FULL PLANNING PERMISSION**

#### **Time Limit for Commencement**

- 1) The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: In order that the development is commenced in a timely manner, as set out in Section 91 of the Town and Country Planning Act 1990 (as amended)

#### **Approved Plans**

- 2) The development hereby permitted shall be carried out in accordance with the following list of approved plans:
  - a) Planning Submission Schedule (Dated 30 May 2024)

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

#### **Before Development is Commenced**

##### **Archaeological Investigation**

- 3) Before the development hereby permitted is commenced, a written scheme of archaeological investigation shall have been submitted to and approved in writing by the Local Planning Authority.

Thereafter, the archaeological investigations shall be completed in accordance with the approved details.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

##### **Construction Management Plan**

- 4) No development shall take place until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. The Plan and Statement shall include measures to mitigate the adverse impacts during the construction stages of the permitted development and shall include:
  - a. The phasing of the development, including access construction and build routes.
  - b. The on-site parking of all vehicles of site operatives and visitors.
  - c. The on-site loading and unloading of all plant and materials.
  - d. The on-site storage of all plant and materials used in constructing the development.
  - e. Dust suppression measures

- f. Wheel washing facilities.
- g. A strategy stating how surface water runoff on and from the development will be managed during construction, and protection measures for any sustainable drainage features. This should include drawing(s) showing how the drainage systems (temporary or permanent) connect to an outfall (temporary or permanent) during all construction works.

The Construction Management Plan and Statement shall be strictly adhered to throughout the construction period.

#### Part M4(2) Details

- 5) Before any part of the development hereby permitted commences, a plan indicating the provision of 10% of the dwelling as being Accessible and Adaptable in line with the standards set out in Part M4(2) of the Building Regulations shall have been submitted to and approved in writing by the Local Planning Authority.

Thereafter, the development shall be completed in accordance with the approved details and the dwellings shall be retained as such for the lifetime of the development.

Reason: To ensure that the development meets the needs of all future residents as required by Policy H4 of the adopted Local Plan.

#### Culvert Risk Assessment

- 6) Before the development hereby permitted commences, a priority risk assessment for the culvert under the A1 trunk road, in accordance with DMRB CD535 and informed by a pre-construction condition survey, shall be submitted to and approved in writing by the Local Planning Authority.

If identified as necessary following the priority culvert risk assessment, a mitigation scheme for the priority culvert under the A1 should be submitted to and approved in writing by the Local Planning Authority.

Thereafter, the mitigation works shall be completed in accordance with the approved scheme prior to the commencement of development.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, or upstream of, the permitted development.

#### Surface Water Drainage Strategy

- 7) Before the development hereby permitted is commenced, a scheme for the treatment of surface water drainage shall have been submitted to and approved in writing by the Local Planning Authority. The scheme shall:
  - a. Be based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development.

- b. Provide flood exceedance routing for storm events greater than the 1 in 100 year event;
- c. Provide details of how run-off will be safely conveyed and attenuated during storms up to and including the 1 in 100 year critical storm event, with an allowance for climate change, from all hard surfaced areas within the development into the existing drainage infrastructure and watercourse system without exceeding the runoff rate for the undeveloped site;
- d. Provide attenuation details and discharge rates which shall be restricted;
- e. Provide details of the timetable for and any phasing of the implementation of the drainage scheme; and
- f. Provide details of how the scheme shall be maintained and managed over the lifetime of the development, including any arrangements for adoption by any public body or Statutory Undertaker and any other arrangements required to secure the operation of the drainage system throughout its lifetime.

Thereafter, no dwelling shall be occupied until the approved scheme has been completed or provided on site in accordance with the approved phasing. The approved scheme shall be retained and maintained in full, in accordance with the approved details.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, or upstream of, the permitted development.

#### Biodiversity Enhancement and Mitigation Plan

- 8) Before the development hereby permitted is commenced, a biodiversity mitigation and enhancement scheme, based on the recommendations contained within the Ecological Impact Assessment Report (BWB) (Dated January 2023), must be submitted to and approved in writing by the Local Planning Authority.

The scheme shall include a plan identifying the location of any mitigation and enhancement, along with a detailed schedule (and technical details) of each of the measures proposed.

Thereafter, the required biodiversity mitigation and enhancement measures shall be completed in full in accordance with the agreed scheme, prior to first occupation of the development.

Reason: In the interests of best ecological practice and in accordance with Policy LV-H3 and EN2 of the adopted South Kesteven Local Plan.

#### Arboricultural Method Statement Compliance

- 9) Before the development hereby permitted is commenced, the Tree Protection measures indicated on the Tree Protection Plan contained at Appendix 4 of the Arboricultural Method Statement (AWA Tree Consultants) (Ref: AWA5509AMS) (July 2023) shall have been implemented in full.

Thereafter, the tree protection measures shall be retained on site until all works have been completed.

Reason: In the interests of visual amenity and for the avoidance of doubt.

### Estate Road Phasing Plan

10) Before the development hereby permitted is commenced, an Estate Road Phasing and Completion Plan shall be submitted to and approved in writing by the Local Planning Authority. The Plan shall set out how the construction of the development will be phased and standards to which the estate roads on each phase will be completed during the construction period of the development.

Thereafter, the development shall be undertaken in accordance with the approved details.

Reason: To ensure that a safe and suitable standard of vehicular and pedestrian access is provided for residents throughout the construction period of the development.

### **During Building Works**

#### Sustainable Building

11) No development above damp-proof course shall take place until details demonstrating how the proposed dwellings would comply with the requirements of Local Plan Policy SB1 have been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of how carbon dioxide emissions would be minimised through the design and construction of the development; details of water efficiency; and provision of electric car charging infrastructure.

The approved sustainable building measures shall be completed in full for each dwelling, in accordance with the agreed scheme, prior to first occupation of each dwellings hereby permitted.

Reason: To ensure that the development mitigates against, and adapts to, climate change in accordance with Policy SB1 of the South Kesteven Local Plan.

#### Construction Hours

12) Construction work on site shall only be carried out between the hours of 0730 and 1800 Monday to Friday, and 0900 to 1300 on Saturdays. Construction work shall not be carried out on Sundays or Public Holidays; unless otherwise agreed in writing by the Local Planning Authority.

The term "construction work" shall include all mobile plant and machinery, radios and the delivery of construction materials.

Reason: To minimise noise impacts on the adjacent residential dwellings.

### Delivery Hours

13) Deliveries of construction materials shall only take place between the hours of 0800 and 1700 Monday to Friday, and 0900 and 1700 on Saturdays. Deliveries shall not take place on Sundays or public holidays.

Reason: To minimise noise impacts on the adjacent residential dwellings.

### Hard Landscaping Details

14) No development above damp proof course shall commence until details of all hard landscaping works have been submitted to and approved in writing by the Local Planning Authority. Details shall be in broad accordance with the approved Planning Layout (Ref: L201/PLANNING/01/Rev H) and shall include:

- a. Proposed finished levels and contours
- b. Means of enclosure (including boundary treatments)
- c. Other vehicle and pedestrian access and circulation areas
- d. Hard surfacing materials
- e. Minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage signs, lighting etc).

Reason: Hard landscaping and materials make an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Soft Landscaping Details

15) No development above damp proof course shall commence until details of all soft landscaping works have been submitted to and approved in writing by the Local Planning Authority. Details shall be in broad accordance with the approved Landscape Masterplan (Ref: N0990/08010/Rev D) and shall include:

- a. Planting plans;
- b. Written specifications (including cultivation and other operations associated with plant and grass establishment);
- c. Schedules of plants, noting species, plant sizes and proposed numbers / densities where appropriate.

Reason: Soft landscaping and tree planting make an important contribution to the development and its assimilation with its surroundings and in accordance with Policy LV-H3, EN1 and DE1 of the adopted South Kesteven Local Plan.

### Noise Mitigation Scheme

16) No development above damp proof course shall commence until a detailed scheme of Noise Mitigation, based on the recommendations contained within the Noise Impact Assessment (M-EC) (Dated July 2023), has been submitted to and approved in writing by the Local Planning Authority.

Thereafter, the scheme of noise mitigation shall have been completed in accordance with the approved details.

Reason: In the interests of the residential amenity of future occupiers of the development.

### Ecological Mitigation

17) All works on site, including construction and delivery works, shall be carried out in accordance with the recommendations contained within the Ecological Impact Assessment Report (BWB) (Dated January 2023), unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of best ecological practice and in accordance with Policy EN2 of the adopted South Kesteven Local Plan.

### Previously Unidentified Contamination

18) Should the developer, during excavation and construction works of the approved development site, find any area where it is suspected that the land is contaminated, then all works must stop and the Local Planning Authority notified immediately. An investigation and risk assessment must be undertaken and, where remediation is necessary, a remediation scheme must be prepared in accordance with current good practice and legislation, a remediation scheme must be prepared in accordance with current good practice and legislation, and submitted to and approved in writing by the Local Planning Authority. Thereafter, the approved remediation scheme shall be implemented in accordance with the approved details.

Following the completion of measures identified in the approved remediation scheme, a verification report must be prepared, which is the subject of approval in writing by the Local Planning Authority prior to the first occupation of the dwellings hereby permitted.

Reason: Previous activities associated with the site may have caused, or had the potential to cause, land contamination and to ensure that any site investigation and remediation will not cause pollution, in the interests of the amenities of future residents and users of the development; and in accordance with Policy EN4 of the Local Plan.

### Revised Travel Plan

19) Notwithstanding the submitted details, before any development above damp-proof course, a revised Travel Plan, including specific modal share targets for active travel modes which seeks to achieve the Government's objectives for 50% of all trips to be made by active travel methods, shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: In order that the permitted development conforms to the requirements of the National Planning Policy Framework, by ensuring that access to the site is sustainable and that there is a reduced dependency on the private car for journeys to and from the development.

## **Before the Development is Occupied**

### Noise Validation Testing

20) Prior to first occupation of Plots 13, 14, 15, 37, 138 and 143 of the development hereby permitted are occupied, the noise mitigation scheme shall be completed in accordance with the approved details, and a verification report that scientifically and technically demonstrates the effectiveness of the noise mitigation scheme, as required shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To protect the residential amenity of future users of the development.

### Materials Compliance

21) Before the dwellings hereby permitted are first occupied, the external materials must have been completed in accordance with the approved Materials Plan (Ref: L201/MATERIALS/03/Rev A).

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

### Hard Landscaping Implementation

22) Before any part of the development hereby permitted is occupied, all hard landscaping works shall have been completed in accordance with the approved details.

Reason: Hard landscaping makes an important contribution to the development and its assimilation with its surroundings, and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Boundary Treatments Implementation

23) Before each dwelling hereby permitted is occupied, the works to provide the boundary treatments relating to that part of the development shall have been completed in accordance with the approved boundary treatment scheme.

Reason: To provide a satisfactory appearance to any boundary treatments and by screening rear gardens from public view, in the interests of the privacy and amenity of the occupants of the proposed and neighbouring dwellings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Travel Plan Compliance

24) Before any dwelling hereby permitted is occupied, the measures contained within the approved Travel Plan shall be implemented in accordance with the approved details, and shall continue to be implemented for as long as any part of the development is occupied.

Reason: In order that the permitted development conforms to the requirements of the National Planning Policy Framework, by ensuring that access to the site is sustainable and that there is reduced dependency on the private car for journeys to and from the development.

## Landscape and Ecological Management Plan

25) Before any part of the development hereby permitted is occupied, a Landscape and Ecological Management Plan shall have been submitted to and approved in writing by the Local Planning Authority. The plan shall include:

- a. Long term design objectives
- b. Management responsibilities; and
- c. Maintenance schedules for all landscaped areas, other than privately owned, domestic gardens.

Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 and EN2 of the adopted South Kesteven Local Plan.

## Low Road Bus Stops

26) Before any part of the development hereby permitted is occupied, a footway widening scheme for the site frontage, an improved bus stop including bus stop poles and flags and inclusive of timetable, shall be provided in accordance with details that will first have been submitted to and approved in writing by the Local Planning Authority. The works shall also include appropriate arrangements for the management of surface water runoff from the highway.

Reason: To ensure the provision of safe and adequate pedestrian access to the permitted development, without increasing flood risk to the highway and adjacent land or property.

## Low Road junction

27) Before any part of the development is occupied, all of that part of the estate road and associated footways that forms the junction with Low Road, and which will be constructed within the limits of the public highway, shall be laid out and constructed to finished levels in accordance with details to be submitted to, and approved in writing by, the Local Planning Authority.

Reason: In the interests of safety, to avoid the creation of pedestrian trip hazards within the public highway from surfacing materials, manholes and gullies that may otherwise remain for an extended period at dissimilar, interim construction levels.

## **Ongoing Conditions**

### Soft Landscaping Implementation

28) Before the end of the first planting / seeding season following the first occupation of the development hereby permitted, all soft landscaping works shall have been carried out in accordance with the approved soft landscaping details.

Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings, and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Soft Landscaping Protection

29) Within a period of five years from the first occupation of the final dwelling of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping scheme that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species, unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscaping, in accordance with the approved designs and in accordance with Policy DE1 and EN2 of the adopted South Kesteven Local Plan.

### LEMP Compliance

30) Following the first occupation of the final dwelling hereby permitted, the approved Landscape and Ecological Management Plan shall be adhered to in full, unless otherwise agreed in writing by the Local Planning Authority.

Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

## **OUTLINE PLANNING PERMISSION**

### **Time Limit for Commencement**

#### **Time Limit for Commencement**

- 1) The development hereby permitted shall be commenced before the expiration of three years from the date of this permission, or two years from the approval of the last reserved matters, which ever is the latter.

Reason: In order that development is commenced in a timely manner, as set out in Section 92 of the Town and Country Planning Act 1990 (as amended).

#### **Time Limit for Reserved Matters**

- 2) Details of the reserved matters set out below shall have been submitted to the Local Planning Authority for approval within three years from the date of this permission:
  - i. Access
  - ii. Appearance
  - iii. Layout
  - iv. Landscaping
  - v. Scale

Approval of all reserved matters shall have been obtained from the Local Planning Authority in writing before any development is commenced.

Reason: To enable the Local Planning Authority to control the development in detail and in order that the development is commenced in a timely manner, as set out in Section 92 of the Town and Country Planning Act 1990 (as amended)

### **Approved Plans**

- 3) The development hereby permitted shall be carried out in accordance with the following list of approved plans (in relation to the site location only):
  - a. Planning Layout (Ref: L201/PLANNING/01/Rev H)

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### **Before Development is Commenced**

#### **Noise Management Plan**

- 4) As part of any reserved matters application(s) for the site, a detailed Noise Management Plan containing details of hours of operation and any noise mitigation measures required to ensure that the proposed community facility does not result in any unacceptable adverse noise

impacts on the adjacent residential properties, shall have been submitted to and approved in writing by the Local Planning Authority.

Thereafter, the development shall be carried out in accordance with the approved Noise Management Plan for the lifetime of the development.

Reason: In the interests of the residential amenity of occupiers of the site and the surrounding area.

### CEMP

- 5) No development shall take place until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. The Plan and Statement shall include measures to mitigate the adverse impacts during the construction stages of the permitted development and shall include:
- a. The phasing of the development, including access construction and build routes.
  - b. The on-site parking of all vehicles of site operatives and visitors.
  - c. The on-site loading and unloading of all plant and materials.
  - d. The on-site storage of all plant and materials used in constructing the development.
  - e. Dust suppression measures
  - f. Wheel washing facilities.
  - g. A strategy stating how surface water runoff on and from the development will be managed during construction, and protection measures for any sustainable drainage features. This should include drawing(s) showing how the drainage systems (temporary or permanent) connect to an outfall (temporary or permanent) during all construction works.

The Construction Management Plan and Statement shall be strictly adhered to throughout the construction period.

Reason: In the interests of residential amenity of occupiers of the site and the surrounding area.

### Materials Specification

- 6) As part of any reserved matters application(s) relating to appearance, details of the materials (including the colour of render, paintwork or colourwash) to be used in the construction of external surfaces of the development hereby permitted shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1.

### Archaeological Investigation

- 7) Before the development hereby permitted is commenced, a written scheme of archaeological investigation shall have been submitted to and approved in writing by the Local Planning Authority.

Thereafter, the archaeological investigations shall be completed in accordance with the approved details.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

### Culvert Risk Assessment

- 8) Before the development hereby permitted commences, a priority risk assessment for the culvert under the A1 trunk road, in accordance with DMRB CD535 and informed by a pre-construction condition survey, shall be submitted to and approved in writing by the Local Planning Authority.

If identified as necessary following the priority culvert risk assessment, a mitigation scheme for the priority culvert under the A1 should be submitted to and approved in writing by the Local Planning Authority.

Thereafter, the mitigation works shall be completed in accordance with the approved scheme prior to the commencement of development.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, or upstream of, the permitted development.

### Surface Water Drainage Strategy

- 9) Before the development hereby permitted is commenced, a scheme for the treatment of surface water drainage shall have been submitted to and approved in writing by the Local Planning Authority. The scheme shall:
- a. Be based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development.
  - b. Provide flood exceedance routing for storm events greater than the 1 in 100 year event;
  - c. Provide details of how run-off will be safely conveyed and attenuated during storms up to and including the 1 in 100 year critical storm event, with an allowance for climate change, from all hard surfaced areas within the development into the existing drainage infrastructure and watercourse system without exceeding the runoff rate for the undeveloped site;
  - d. Provide attenuation details and discharge rates which shall be restricted;
  - e. Provide details of the timetable for and any phasing of the implementation of the drainage scheme; and
  - f. Provide details of how the scheme shall be maintained and managed over the lifetime of the development, including any arrangements for adoption by any public body or Statutory Undertaker and any other arrangements required to secure the operation of the drainage system throughout its lifetime.

Thereafter, no dwelling shall be occupied until the approved scheme has been completed or provided on site in accordance with the approved phasing. The approved scheme shall be retained and maintained in full, in accordance with the approved details.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, or upstream of, the permitted development.

#### Biodiversity Enhancement and Mitigation Plan

10) Before the development hereby permitted is commenced, a biodiversity mitigation and enhancement scheme, based on the recommendations contained within the Ecological Impact Assessment Report (BWB) (Dated January 2023), must be submitted to and approved in writing by the Local Planning Authority.

The scheme shall include a plan identifying the location of any mitigation and enhancement, along with a detailed schedule (and technical details) of each of the measures proposed.

Thereafter, the required biodiversity mitigation and enhancement measures shall be completed in full in accordance with the agreed scheme, prior to first occupation of the development.

Reason: In the interests of best ecological practice and in accordance with Policy LV-H3 and EN2 of the adopted South Kesteven Local Plan.

#### Arboricultural Method Statement Compliance

11) Before the development hereby permitted is commenced, the Tree Protection measures indicated on the Tree Protection Plan contained at Appendix 4 of the Arboricultural Method Statement (AWA Tree Consultants) (Ref: AWA5509AMS) (July 2023) shall have been implemented in full.

Thereafter, the tree protection measures shall be retained on site until all works have been completed.

Reason: In the interests of visual amenity and for the avoidance of doubt.

#### Estate Road Phasing Plan

12) Before the development hereby permitted is commenced, an Estate Road Phasing and Completion Plan shall be submitted to and approved in writing by the Local Planning Authority. The Plan shall set out how the construction of the development will be phased and standards to which the estate roads on each phase will be completed during the construction period of the development.

Thereafter, the development shall be undertaken in accordance with the approved details.

Reason: To ensure that a safe and suitable standard of vehicular and pedestrian access is provided for residents throughout the construction period of the development.

## Site Levels

13) As part of any reserved matters application(s) for the application site, plans showing the existing and proposed land levels of the site (including spot heights, contours, and finished floor levels of all buildings) with reference to an off-site datum point, shall have been submitted to and approved in writing by the Local Planning Authority.

Thereafter, the development shall be carried out in accordance with the approved details, and the site levels completed as approved, prior to the building being first occupied / brought into use.

Reason: In order to ensure that a safe and suitable standard of pedestrian connectivity is provided for residents and users throughout the allocation site.

## **During Building Works**

### Construction Hours

14) Construction work on site shall only be carried out between the hours of 0730 and 1800 Monday to Friday, and 0900 to 1300 on Saturdays. Construction work shall not be carried out on Sundays or Public Holidays; unless otherwise agreed in writing by the Local Planning Authority.

The term “construction work” shall include all mobile plant and machinery, radios and the delivery of construction materials.

Reason: To minimise noise impacts on the adjacent residential dwellings.

### Delivery Hours

15) Deliveries of construction materials shall only take place between the hours of 0800 and 1700 Monday to Friday, and 0900 and 1700 on Saturdays. Deliveries shall not take place on Sundays or public holidays.

Reason: To minimise noise impacts on the adjacent residential dwellings.

### Ecological Mitigation

16) All works on site, including construction and delivery works, shall be carried out in accordance with the recommendations contained within the Ecological Impact Assessment Report (BWB) (Dated January 2023), unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of best ecological practice and in accordance with Policy EN2 of the adopted South Kesteven Local Plan.

### Previously Unidentified Contamination

17) Should the developer, during excavation and construction works of the approved development site, find any area where it is suspected that the land is contaminated, then all

works must stop and the Local Planning Authority notified immediately. An investigation and risk assessment must be undertaken and, where remediation is necessary, a remediation scheme must be prepared in accordance with current good practice and legislation, a remediation scheme must be prepared in accordance with current good practice and legislation, and submitted to and approved in writing by the Local Planning Authority. Thereafter, the approved remediation scheme shall be implemented in accordance with the approved details.

Following the completion of measures identified in the approved remediation scheme, a verification report must be prepared, which is the subject of approval in writing by the Local Planning Authority prior to the first occupation of the dwellings hereby permitted.

Reason: Previous activities associated with the site may have caused, or had the potential to cause, land contamination and to ensure that any site investigation and remediation will not cause pollution, in the interests of the amenities of future residents and users of the development; and in accordance with Policy EN4 of the Local Plan.

#### Landscape and Ecological Management Plan

18) Before any part of the development hereby permitted is occupied, a Landscape and Ecological Management Plan shall have been submitted to and approved in writing by the Local Planning Authority. The plan shall include:

- a. Long term design objectives
- b. Management responsibilities; and
- c. Maintenance schedules for all landscaped areas, other than privately owned, domestic gardens.

Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 and EN2 of the adopted South Kesteven Local Plan.

#### Low Road Bus Stops

19) Before any part of the development hereby permitted is occupied, a footway widening scheme for the site frontage, an improved bus stop including bus stop poles and flags and inclusive of timetable, shall be provided in accordance with details that will first have been submitted to and approved in writing by the Local Planning Authority. The works shall also include appropriate arrangements for the management of surface water runoff from the highway.

Reason: To ensure the provision of safe and adequate pedestrian access to the permitted development, without increasing flood risk to the highway and adjacent land or property.

#### Low Road junction

20) Before any part of the development is occupied, all of that part of the estate road and associated footways that forms the junction with Low Road, and which will be constructed within the limits of the public highway, shall be laid out and constructed to finished levels in

accordance with details to be submitted to, and approved in writing by, the Local Planning Authority.

Reason: In the interests of safety, to avoid the creation of pedestrian trip hazards within the public highway from surfacing materials, manholes and gullies that may otherwise remain for an extended period at dissimilar, interim construction levels.

## **Ongoing Conditions**

### Soft Landscaping Implementation

- 21) Before the end of the first planting / seeding season following the first occupation of the development hereby permitted, all soft landscaping works shall have been carried out in accordance with the approved soft landscaping details.

Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings, and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Soft Landscaping Protection

- 22) Within a period of five years from the first occupation of the final dwelling of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping scheme that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species, unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscaping, in accordance with the approved designs and in accordance with Policy DE1 and EN2 of the adopted South Kesteven Local Plan.

### LEMP Compliance

- 23) Following the first occupation of the final dwelling hereby permitted, the approved Landscape and Ecological Management Plan shall be adhered to in full, unless otherwise agreed in writing by the Local Planning Authority.

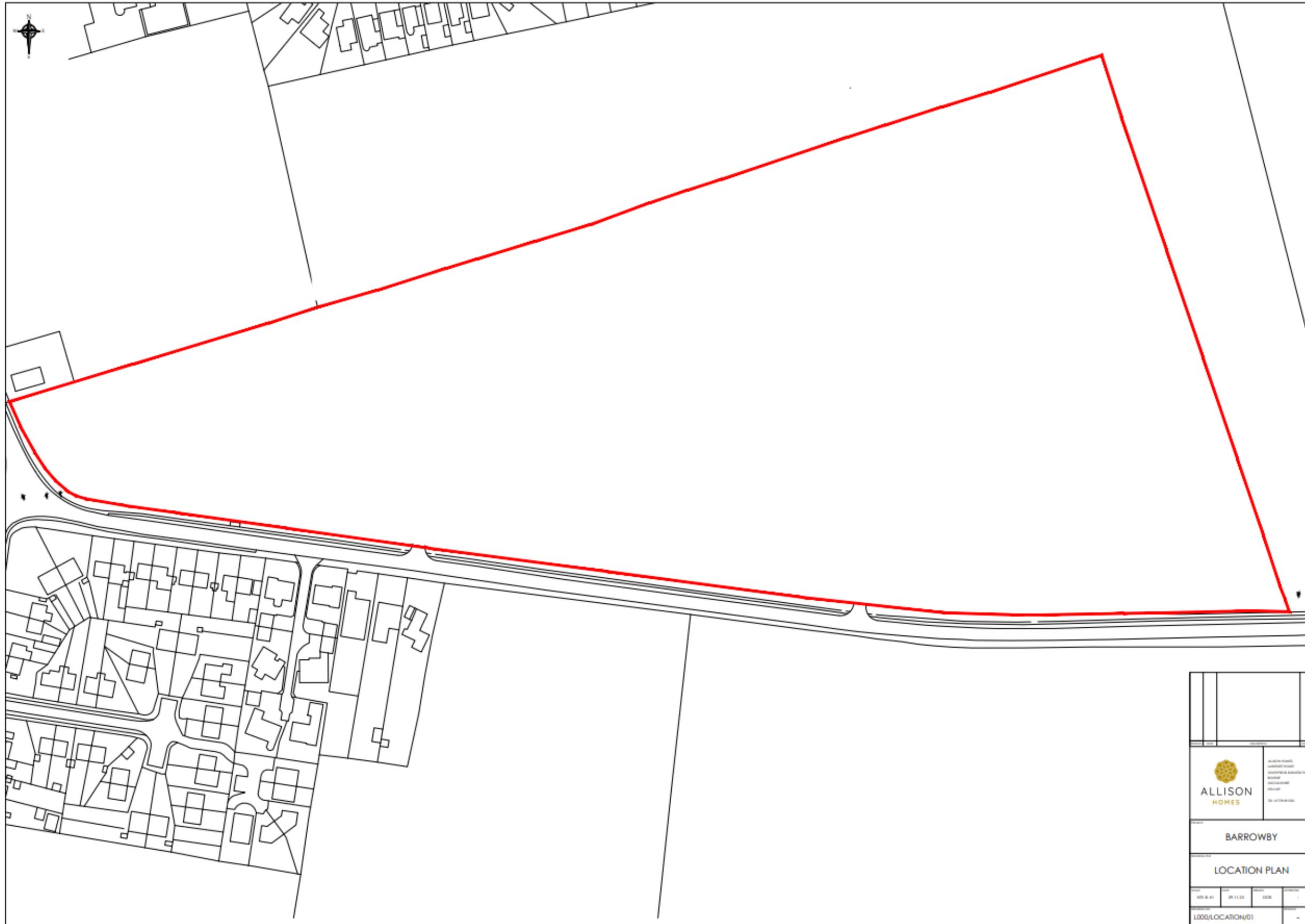
Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

## Note(s) to Applicant

- 1) In reaching this decision, the Council has worked with the Applicant in a positive and proactive manner by determining the application without undue delay. As such, it is considered that the decision is in accordance with Paragraph 38 of the National Planning Policy Framework (December 2023).
- 2) All roads within the development hereby permitted must be constructed to an acceptable engineering standard. Those roads that are out forward for adoption as public highways must be constructed in accordance with the Lincolnshire County Council Development Road Specification that is current at the time of construction, and the developer will be required to enter into a legal agreement with the Highway Authority under Section 38 of the Highways Act 1980. Those roads that are not to be voluntarily out forward for adoption as public highways may be subject to action by the Highway Authority under Section 219 (Advanced Payments Code) of the Highways Act 1980.
- 3) The permitted development requires the formation of a new/amended vehicular access. These works will require approval from the Highway Authority in accordance with Section 184 of the Highways Act. The works should be constructed in accordance with the Authority's specification that is current at the time of construction. Relocation of existing apparatus, underground services or street furniture will be the responsibility of the applicant, prior to application. For application guidance, approval and specification details, please visit <https://www.lincolnshire.gov.uk/licences-permits/apply-dropped-kerb>
- 4) Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections and any other works which will be required within the public highway in association with the development hereby permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works.  
For further guidance, please visit our website via the following links:  
Traffic Management - <https://www.lincolnshire.gov.uk/traffic-management>  
Licences and Permits – <https://www.lincolnshire.gov.uk/licences/permits>.
- 5) The highway improvement works referred to in the above condition are required to be carried out by means of a legal agreement between the landowner and the County Council, as the Local Highway Authority.
- 6) The existing ground level of the site must not be raised above the ground level of any surrounding land without further consultation with the Lead Local Flood Authority and Local Planning Authority, to consider suitable mitigation measures to ensure that surface water flood risk is not created or increased to land adjacent to the permitted development.
- 7) Notification of intention to connect to the public sewer under Section 106 of the Water Industry Act approval and consent will be required by Anglian Water under the Water Industry Act 1991. Contact Development Services on 0345 606 6087.
- 8) No building will be permitted within the statutory easement width of 3m from the pipeline without agreement from Anglian Water.

- 9) The Developer should note that the site drainage details submitted have not been approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Section 104 of the Water Industry Act 1991), they should contact the Development Services Team at the earliest opportunity. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers, as supplemented by Anglian Water's requirements.

Site Location Plan



Proposed Site Plan

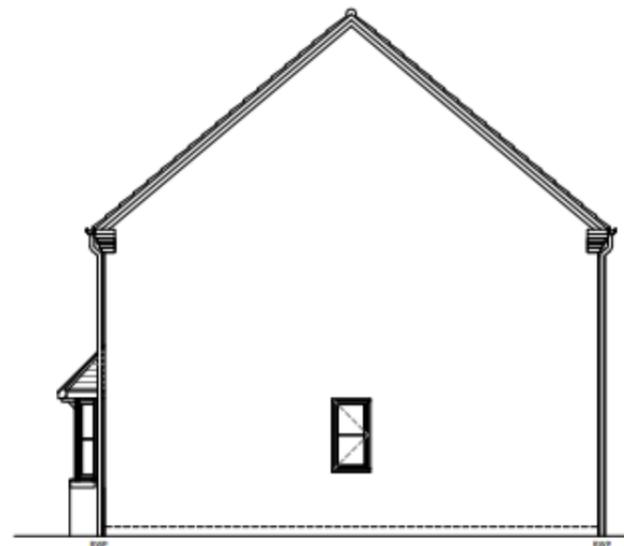


 <b>ALLISON</b> HOMES		ALLISON HOMES IS A PART OF THE HANSON GROUP A LISTED COMPANY
<b>BARROWBY</b>		
<b>PLANNING LAYOUT</b>		
SCALE	DATE	DRAWN
1:1000 @ A1	11/2024	DOR
PROJECT NO.	DRAWING NO.	REVISION
L201/PLANNING/01		H

Proposed House Types



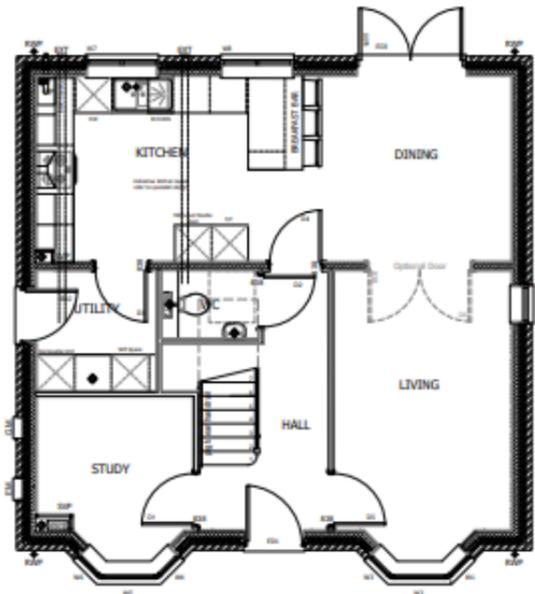
FRONT ELEVATION



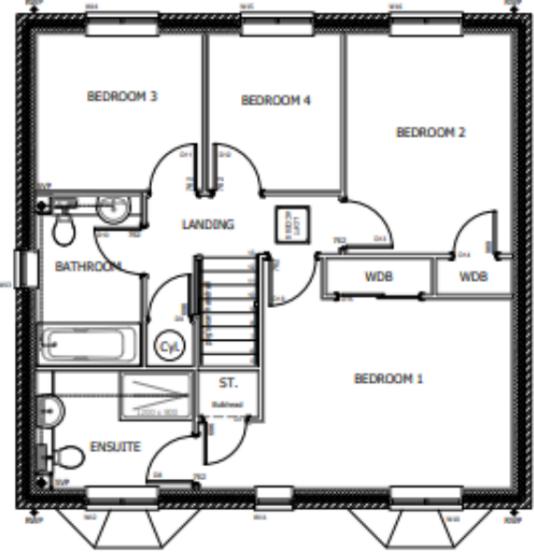
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR PLAN



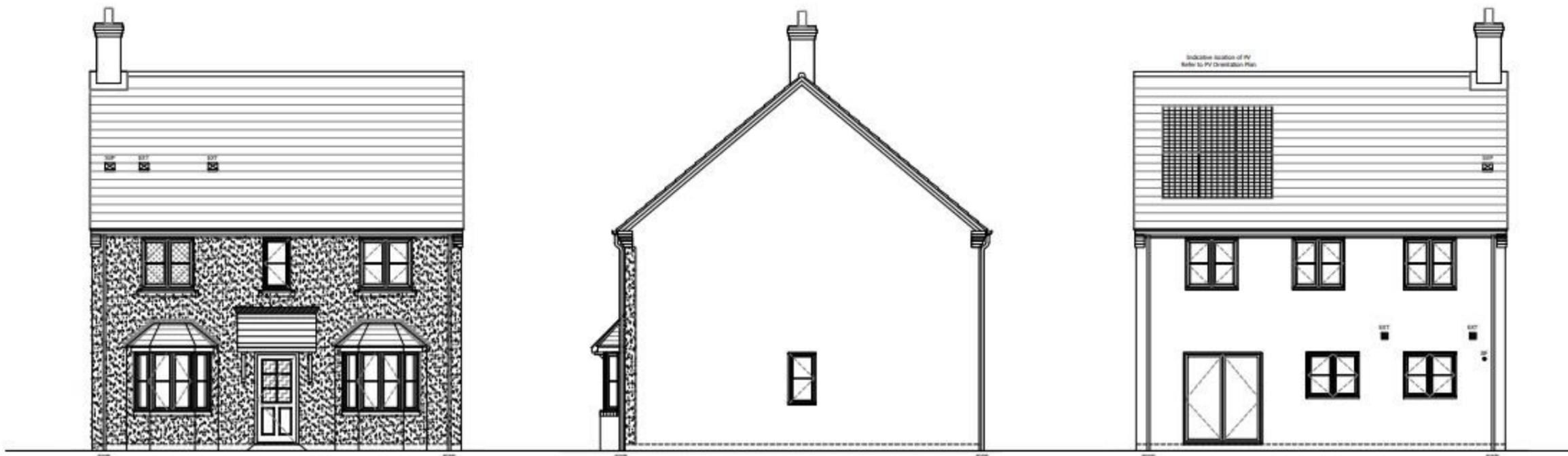
FIRST FLOOR PLAN



SIDE ELEVATION



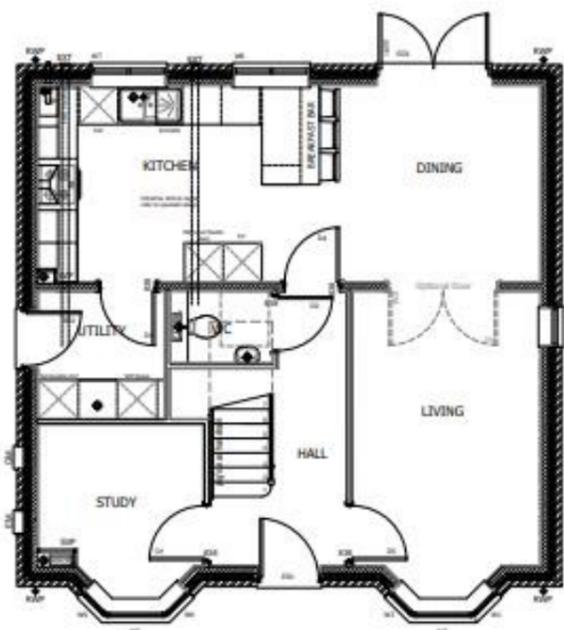
		ALLISON HOMES EAST FLEET HOUSE CYNET ROAD HAMPTON PETERBOROUGH PE7 8FD TEL: 01778 381550	
<b>BARROWBY</b>			
<b>D406 DETACHED - OPEN MARKET                  DESIGN SHEET</b>			
AS	1, 17, 132, 154, 170	1:100 @ A3	15.02.23
OP	18, 95, 169	L201-D406-D-DS-01	A



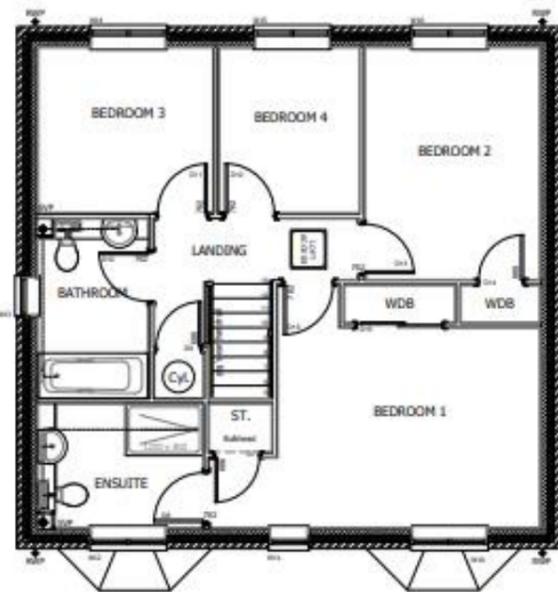
FRONT ELEVATION

SIDE ELEVATION

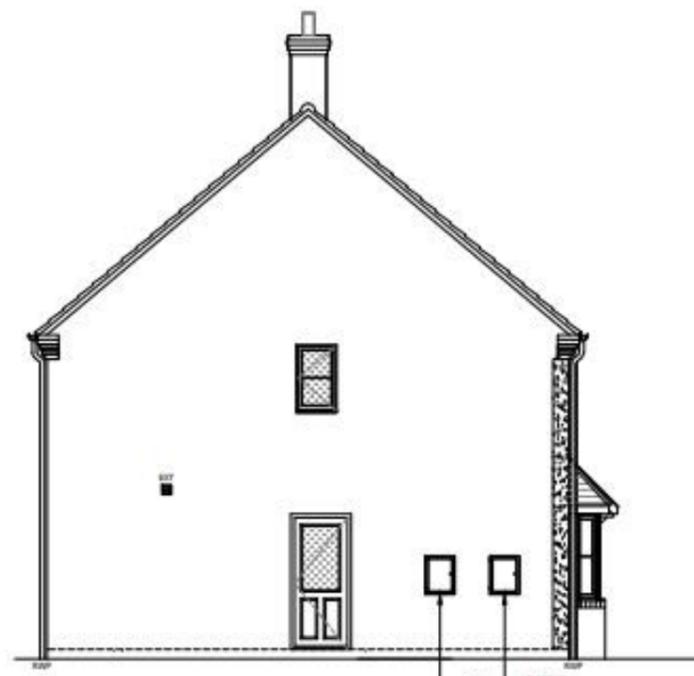
REAR ELEVATION



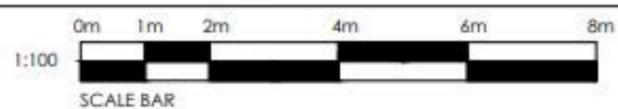
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION





**ALLISON HOMES**  
 ALLISON HOMES EAST  
 FLEET HOUSE  
 CYNET ROAD  
 HAMPTON  
 PETERSBOROUGH  
 PE7 4PD  
 TEL: 01753 381550

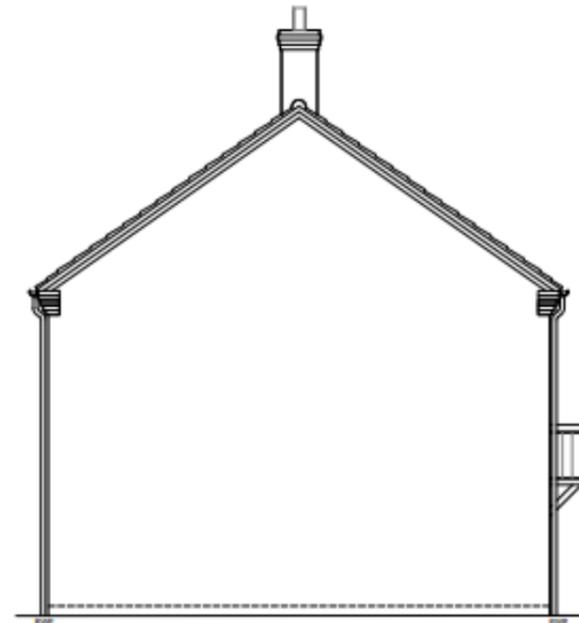
**BARROWBY**

**D406 RENDER DETACHED - OPEN MARKET DESIGN SHEET**

AS	-	1:100 @ A3	15.02.23	BN	-
OP	134	L201-D406REN-DS-01	A		



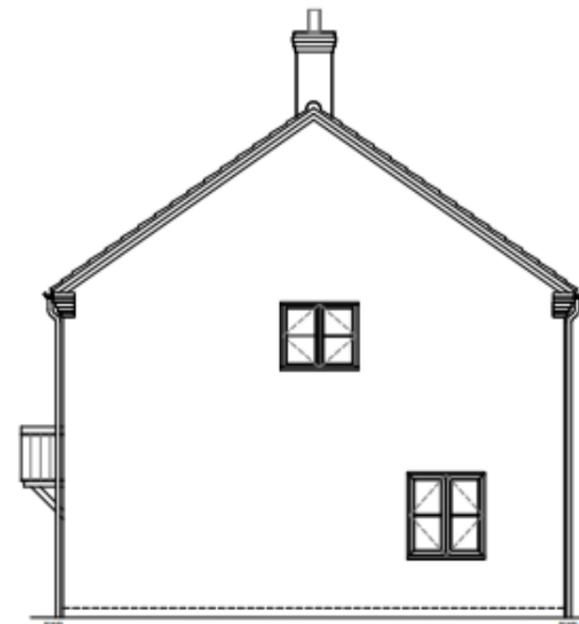
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



 <p><b>ALLISON HOMES</b></p>		<p>ALLISON HOMES EAST FLEET HOUSE CYGNET ROAD HAMPTON PETERBOROUGH PE7 8TD TEL: 01778 391588</p>	
<b>BARROWBY</b>			
<b>E501 CHIMNEY DETACHED DESIGN SHEET 2 OF 2</b>			
AS	35, 40, 79	Scale 1:100 @ A3	Date 24.02.2023
OP	175	Drawn DAW	Approved -
		Project No. L201-E501CHIM-DS-02	Revision A

